

A meeting of the **DEVELOPMENT MANAGEMENT COMMITTEE** will be held in **THE CIVIC SUITE**, **PATHFINDER HOUSE**, **ST MARY'S STREET**, **HUNTINGDON PE29 3TN** on **MONDAY**, **18TH JULY 2022** at **7:00 PM** and you are requested to attend for the transaction of the following business:-

AGENDA

PLEASE NOTE THE ORDER OF THE AGENDA MAY CHANGE

APOLOGIES

1. MINUTES (Pages 5 - 6)

To approve as a correct record the Minutes of the meeting held on 20th June 2022.

2. MEMBERS' INTERESTS

To receive from Members declarations as to disclosable pecuniary, other registerable and non-registerable interests in relation to any Agenda item. See Notes below.

3. DEVELOPMENT MANAGEMENT - SECTION 106 AGREEMENTS

To consider a report by the Planning Service Manager (Development Management).

(a) Somersham - 19/01790/OUT (Pages 7 - 48)

Application for outline planning permission for a phased development of up to 132 dwellings and associated access, approval sought for access, layout and landscaping with scale and appearance reserved, on land North of The Bank - Land North of 16 The Bank, Somersham.

4. APPLICATIONS REQUIRING REFERENCE TO DEVELOPMENT MANAGEMENT COMMITTEE

To consider reports by the Planning Service Manager (Development Management).

(a) Holme - 20/00923/REM (Pages 49 - 100)

Reserved matters application for 25 dwellings for access, appearance, landscaping, layout and scale pursuant to outline planning permission 17/00101/OUT - D J C Produce, Pingle Bank, Holme, PE7 3PJ.

(b) Pidley-cum-Fenton - 19/01258/FUL (Pages 101 - 140)

Erection of 4 dwellings with garaging and parking following the demolition of the existing industrial buildings - Land North East of The Laurels, Fenton Road, Fenton.

(c) Pidley-cum-Fenton - 21/01287/REM (Pages 141 - 178)

Application for approval of reserved matters (Access, Appearance, Landscaping, Layout, Scale), following outline approval reference 19/01782/OUT, for the erection of 4 dwellings - Vernon Motors, Warboys Road, Pidley, PE28 3DA.

(d) Alconbury Weston - 22/00145/S73 (Pages 179 - 208)

Removal/variation of conditions 3 (Material), 4 (Landscape), 5 (levels) ,6 (ecology), 7 (tree protection), 10 (architectural details) to 18/01946/FUL as the majority of the works are now complete on site – 50 Hamerton Road, Alconbury Weston, PE28 4JD.

5. APPEAL DECISIONS (Pages 209 - 210)

To consider a report by the Planning Service Manager (Development Management).

LATE REPRESENTATIONS

6 day of July 2022

Head of Paid Service

Disclosable Pecuniary Interests and other Registrable and Non-Registrable Interests

Further information on <u>Disclosable Pecuniary Interests and other Registerable and Non-Registerable Interests is available in the Council's Constitution</u>

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Please contact Anthony Roberts, Democratic Services, Tel: 01480 388015 / email Anthony.Roberts@huntingdonshire.gov.uk if you have a general query on any Agenda Item, wish to tender your apologies for absence from the meeting, or would like information on any decision taken by the Committee/Panel.

Specific enquiries with regard to items on the Agenda should be directed towards the Contact Officer.

Members of the public are welcome to attend this meeting as observers except during consideration of confidential or exempt items of business.

Agenda and enclosures can be viewed on the **District Council's website**.

Emergency Procedure

In the event of the fire alarm being sounded and on the instruction of the Meeting Administrator, all attendees are requested to vacate the building via the closest emergency exit.



HUNTINGDONSHIRE DISTRICT COUNCIL

MINUTES of the meeting of the DEVELOPMENT MANAGEMENT COMMITTEE held in the Civic Suite, Pathfinder House, St Mary's Street, Huntingdon PE29 3TN on Monday, 20th June 2022

PRESENT: Councillor D L Mickelburgh – Chair.

Councillors R J Brereton, E R Butler, L Davenport-Ray, D B Dew, K P Gulson, C Lowe, S R McAdam, S Mokbul,

J Neish, T D Sanderson and R A Slade.

APOLOGIES: Apologies for absence from the meeting were submitted on

behalf of Councillors I D Gardener, P A Jordan, C H Tevlin

and S Wakeford.

5 MINUTES

The Minutes of the meetings of the Committee held on 25th April and 18th May 2022 were approved as correct records and signed by the Chair.

6 MEMBERS' INTERESTS

Councillor D B Dew declared a non-statutory disclosable interest in Minute No. 7 (a) by virtue of the fact that the application related to the Ward he represented as a Member of Cambridgeshire County Council.

7 APPLICATIONS REQUIRING REFERENCE TO DEVELOPMENT MANAGEMENT COMMITTEE

The Planning Service Manager (Development Management) submitted reports (copies of which are appended in the Minute Book) on applications for development to be determined by the Committee. Members were advised of further representations, which had been received since the reports had been prepared. Whereupon, it was

RESOLVED

a) Demolition of existing bungalow. Construction of three residential dwellings with parking and amenity land - Ashlea, Potton Road, Hilton, PE28 9NG - 20/01069/FUL

(Councillor P Balicki, Hilton Parish Council, addressed the Committee on the application).

See Minute No. 7 for Members' interests.

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed ion paragraph 8 of the report now submitted.

b) Conversion of existing agricultural barn to 2no residential units - Land South of Harbins Farm, Harbins Lane, Abbotsley - 21/00436/FUL

(Mr S Bampton, agent, addressed the Committee on the application).

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed ion paragraph 8 of the report now submitted together with an additional condition requiring the methodology for the conversion to be submitted to and approved by the Council.

8 APPEAL DECISIONS

The Committee received and noted a report by the Planning Service Manager (Development Management), which contained details of four recent decisions by the Planning Inspectorate. A copy of the report is appended in the Minute Book.

RESOLVED

that the contents of the report be noted.

Chair

DEVELOPMENT MANAGEMENT COMMITTEE 18th July 2022

Case No: 19/01790/OUT (OUTLINE PLANNING APPLICATION)

Proposal: APPLICATION FOR OUTLINE PLANNING PERMISSION FOR

A PHASED DEVELOPMENT OF UP TO 132 DWELLINGS AND ASSOCIATED ACCESS, APPROVAL SOUGHT FOR ACCESS, LAYOUT AND LANDSCAPING WITH SCALE AND APPEARANCE RESERVED, ON LAND NORTH OF THE

BANK.

Location: LAND NORTH OF 16, THE BANK, SOMERSHAM

Applicant: LARKFLEET HOMES

Grid Ref: 537002 278141

Date of Registration: 05.09.2019

Parish: SOMERSHAM

RECOMMENDATION - Delegate powers to Officers to finalise terms of the S106 agreement in relation to off-site formal sports contribution and off-site biodiversity contribution and, to

APPROVE subject to the prior completion of a Section 106 obligation, to include provision of informal green space, wheeled bins, and on-site affordable housing (and formal sports and biodiversity contribution, subject to CIL compliance), and subject to conditions to include those listed below.

OR

REFUSAL in the event that the obligation referred to above has not been completed and the applicant is unwilling to agree to an extended period for determination, or on the grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.

The Parish Council recommendation is in line with the Officer recommendation of approval, however the application is referred to the Development Management Committee at the request of the Chief Planning Officer in the interests of openness and transparency as the site is known to be under the ownership of a District Councillor.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 The application site relates to land to the north of The Bank (Chatteris Road, Somersham. The site extends to 5.5 hectares and is situated at the eastern side of the settlement. The site is currently used for agricultural purposes. The land use of the surrounding area is predominantly arable farmland.
- 1.2 The site is situated approximately 650m to the east of the Somersham Conservation area and the nearest listed building is situated at 20-22 High Street Somersham located 675m from the application site. The land falls within Flood zone 1 and is not liable to flood. A number of trees within the site are subject to a Tree Preservation Order.
- 1.3 The site is allocated for residential development in Huntingdonshire's Local Plan to 2036 (Policy SM5) for approximately 120 homes.
- 1.4 The proposed development has been amended during consideration of the planning application following receipt of consultee comments. Outline planning permission is sought for a phased residential development of 132 dwellings with access, layout and landscaping sought for approval. The scale and appearance of the residential units are reserved matters for later consideration and approval as part of a subsequent reserved matters application.
- 1.5 The application is supported by the necessary plans and the following reports:
 - Transport Assessment (TA)
 - Planning, Design and Access Statement
 - Statement of Community Involvement (SCI);
 - Flood Risk Assessment;
 - Ecological Survey;
 - Archaeological Desk Based Assessment
 - Arboriculture Survey
 - Noise and Lighting Statement
- 1.6 With regard to the Town and Country Planning (Environmental Impact Assessment) Regulations 2017 the development does not meet the criteria to require a detailed screening opinion, as the site proposes less than 150 dwellings. It is therefore not anticipated

that the project would have significant environmental effects and is therefore not considered to be EIA development.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (20 July 2021) (NPPF 2021) sets out the three objectives economic, social and environmental of the planning system to contribute to the achievement of sustainable development. The NPPF 2021 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11)'.
- 2.2 The NPPF 2021 sets out the Government's planning policies for (amongst other things):
 - delivering a sufficient supply of homes;
 - achieving well-designed places;
 - conserving and enhancing the natural environment;
 - conserving and enhancing the historic environment.
- 2.3 Planning Practice Guidance, Noise Policy Statement for England and the National Design Guide 2019 are also relevant and material considerations.
- 2.4 Relevant Legislation;
 - Planning and Compulsory Purchase Act 2004
 - Town and Country Planning Act 1990 (as amended)
 - Ancient Monuments and Archaeological Areas Act 1979

For full details visit the government website National Guidance

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
 - LP 1: "Amount of development"
 - LP 2: "Strategy and principles for development"
 - LP 3: "Green Infrastructure"
 - LP 4: "Contributing to Infrastructure Delivery"
 - LP 5: "Flood Risk"
 - LP 6: "Waste Water Management"
 - LP 7: "Spatial Planning Areas"
 - LP 11: "Design Context"
 - LP 12: "Design Implementation"
 - LP 13: "Placemaking"
 - LP 14: "Amenity"
 - LP 15: "Surface Water"
 - LP 16: "Sustainable Travel"
 - LP 17: "Parking Provision and Vehicle Movement"

- LP 24: "Affordable Housing Provision"
- LP 25: "Housing Mix"
- LP 29: "Health Impact Assessment"
- LP 30: "Biodiversity and Geodiversity"
- LP 31: "Trees, Woodland, Hedges and Hedgerows"
- LP 34: "Heritage Assets and their Settings"
- LP 36: "Air Quality"
- LP 37: "Ground Contamination and Groundwater Pollution"
- SM 5: "North of the Bank, Somersham"
- 3.2 Supplementary Planning Guidance / Other relevant documents:
 - Huntingdonshire Design Guide SPD (2017)
 - Huntingdonshire Strategic Flood Risk Assessment (2017)
 - Developer Contributions SPD (2011)
 - Huntingdonshire Landscape and Townscape SPD (2022)
 - RECAP CCC Waste Management Design Guide (CCC SPD) 2012
 - Cambridgeshire Flood and Water SPD
 - Huntingdonshire Tree Guidance Note 3
 - Huntingdonshire District Council Annual Monitoring Report –
 Part 1 Housing Supply) 2020/2021 (October 2021)
 - Huntingdonshire District Council Annual Monitoring Report Part 2 (Non- Housing) 2019/2020 (December 2020)

For full details visit the government website Local policies

4. PLANNING HISTORY

4.1 There is no relevant planning history for the site other than the granting of a provisional Tree Preservation Order (Order no 19/010).

5. CONSULTATIONS

- 5.1 Somersham Parish Council (30/09.2019) raised an objection as the 145 dwellings proposed is excessive and Councillors wish the number of dwellings to remain at 120 as per the Local Plan to 2036.
- 5.2 Somersham Parish Council (15.03.2022) accepted the Noise and Lighting Statement and reiterated their view that the development proposal is too dense and should only comprise 120 dwellings.
- 5.3 Somersham Parish Council (26.05.2022) confirms that the Parish Council **no longer raises an objection** to the proposal following a reduction in the number of units to 132 dwellings.
- 5.4 Anglian Water Anglian Water NO OBJECTION. Confirms that the nearest waste water treatment centre will have capacity for the

- additional flows created by the development. Informatives are recommended.
- 5.5 Cambridgeshire Constabulary (Designing Out Crime Officer) NO OBJECTIONS but would like to be consulted when details of building security, boundary treatments and lighting are submitted/ The following has been noted:
- 5.6 Cambridgeshire County Council: Archaeology - NO OBJECTION noting that preliminary archaeological fieldwork for the above site has been completed. Roman period archaeological evidence was present within the site, seeming to be confined to the northern third of the site - mostly in the proposed Phase 3 area. A small area of interest relating to Late Medieval or slightly later brick making was found in the north-eastern corner of Phase 2 and this, too, will require excavation and interpretation, especially since The Bishop's Palace and other notable buildings on the village were substantially made of brick, with imported stone quoins or facades also used, particularly in the Post-Medieval period. It is recommended that an archaeological investigation programme is conducted in advance of construction in order that the significant archaeological evidence that is contemporary with the known, published, Roman inland port excavated at Colne Fen Quarry to the east and surrounding supply farms, e.g., that excavated and published at Knobbs Farm Quarry to the north-east can be preserved by record and the construction impacts mitigated by this measure.
- 5.7 Cambridgeshire County Council: Education: has confirmed that the development will generate 44 Early Years children (30 eligible for free places); 58 Primary children and 37 Secondary children aged 11-15.
- 5.8 Officer response: In accordance with the Developer Contributions SPD, contributions for education and lifelong learning cannot be sought for proposals under 200 units and instead all contributions fall under CIL. It is the statutory duty of the Education Authority to provide a school place for every school age child in the area.
- 5.9 Cambridgeshire County Council: Lead Local Flood Authority (LLFA) NO OBJECTIONS following receipt of an updated surface water drainage strategy, subject to conditions to secure measures to avoid additional surface water run-off from the site during construction works, details of a surface water drainage scheme for the site, a survey of the downstream ditch network, ongoing maintenance measures and surface water drainage completion report.
- 5.10 Cambridgeshire County Council: Local Highways Authority NO OBJECTIONS following receipt of amended plans and revised Transport Assessment subject to conditions/obligations in relation to:

- Parking/ servicing/ loading/ unloading/ turning/ waiting area laid out before occupation
- Visibility splays
- Junction construction prior to use
- Surface water drainage measures to prevent water run-off to adjacent public highway
- Details of management and maintenance of streets until such time that a Section 38 agreement is in place.
- Temporary facilities to provide parking off the highway during construction
- Construction traffic routing
- Provision of a direct non-motorised link between the western site boundary and the neighbouring nature reserve
- Welcome Travel Packs inclusive of bus taster tickets and/or cycle discount voucher
- 5.11 HDC Urban Design NO OBJECTIONS to the proposals following receipt of amended proposals, subject to conditions. The layout landscaping and access is supported overall. Details of the house types would be subject to a future reserved matters application.
- 5.12 HDC Landscape NO OBJECTIONS to the proposals following receipt of amended proposals, subject to conditions.
- 5.13 HDC Trees NO OBJECTIONS subject to conditions relating to the submission of details of the site/ location specific Tree Protection Plan and Arboricultural Method Statement and a management plan for the existing mature willow tree which is to be retained.
- 5.14 HDC Sports Development Manager a S106 contribution of £81,998 towards increasing the provision of off-site formal open space sports facilities is made in order to increase the capacity of existing provision in the village to meet the needs of new residents.
- 5.15 HDC Operations Green Space NO OBJECTIONS, noting that there is not a shortfall of green space in Somersham, but given the development is detached from the settlement, it is important that on site green space is provided. Requests that the key area of open space be more centrally located and not tucked away in the northern of the site, which has been addressed. It is confirmed that on site play equipment is not required for developments of less than 145 dwellings. 10,500 sqm of multifunctional open space is proposed in exceedance of the minimum requirements set by the Developer Contributions SPD.
- 5.16 Environment Agency Confirms that there are no EA constraints associated with this site therefore have no comments to make but would recommend that Anglian Water are consulted to ensure there is sufficient capacity within the mains system.

- 5.17 HDC Environmental Health (Noise) NO OBJECTIONS and considers that acoustic glazing and ventilation requirements for some units will need to be the subject of a planning condition to be approved as part of the Reserved Matters application.
- 5.18 HDC Environmental Health (Air Quality) NO OBJECTIONS as the size and location of the development does not require an Air Quality Impact Assessment.
- 5.19 HDC Environmental Health (Ground Contamination) NO OBJECTIONS subject to conditions securing site investigation, the submission, approval, implementation and verification of a remediation scheme and the reporting of unexpected contamination.
- 5.20 Natural England NO OBJECTIONS and considers that the proposed development is unlikely to have an adverse impact on statutorily designated sites. The recommendations made within the Ecological Appraisal should be followed in order to secure a net biodiversity gain in accordance with the National Planning Policy Framework. Standing advice is also provided.
- 5.21 Wildlife Trust NO OBJECTIONS. An off-site contribution is sought in addition to on site mitigation to secure an overall net gain in biodiversity.

Officer Comment: It is anticipated that a financial contribution will be secured to offset the biodiversity loss through this development which could be used (likely in the locality) to mitigate its impacts. For example; It is noted that the site lies adjacent to the Somersham Local Nature Reserve and St Ives - March Disused Railway Line which is a County Wildlife Site. As such it is anticipated that opportunities exist to compensate for the loss of on-site biodiversity gain in this instance. It is requested that delegated authority be allowed for the agreement of the amount and spend of the off-site contribution.

5.22 Friends of Somersham Nature Reserve – OBJECT for the following reasons: The scheme is likely to result in the loss of terrestrial habitat and a barrier to migration, increased use of the nature reserve will cause disturbance to wildlife. The development will increase management/maintenance costs and a commuted sum is requested for this. Further survey work should be undertaken and additional mitigation proposed.

Officer comment: no figure has been provided in respect of a commuted sum requested by Friends of Somersham Nature Reserve and no project and associated costs has been supplied. Given a contribution request has been made by the Cambridgeshire Wildlife Trust, it would not be possible to secure two off-site payments. It is suggested that delegated authority be

granted to explore opportunities with the Wildlife Trust for the spend of any contribution agreed to be at Somersham Nature Reserve.

5.23 RSPB – no comment

6. REPRESENTATIONS

- 6.1 21 representations have been received, the comments of which are summarised as follows:
 - Construction /residential amenity concern regarding noise and dust during construction.
 - Design concern that the layout is too high density and the number of units reduced. Harm to the character and appearance of the area and wider countryside.
 - Access concern that the position of the access could result in disturbance and nuisance in terms of light, vibration and noise. Concern that the access is unsafe on what is a fast road. Additional traffic impacting on the highway network.
 - Residential amenity loss of privacy and outlook
 - Infrastructure the proposal will add pressure on resources in the village. There should be some village gain from the development. The school is not adequate for more residents. Lack of facilities for older children and risk of antisocial behaviour.
 - Ecology SUDS should be at the site edges for the benefit of wildlife. Concern that trees and hedgerows will be removed. Concern that protected species at the site will not be protected.
 - Sustainability access to public transport is poor. Most village services are to the west of the village which will encourage car use.
 - Housing Need The need for housing is recognised.
 Other developments in the village are meeting housing needs. Other potential sites are more suitable that will provide more affordable housing.
 - Flooding and Drainage concern that the ditch is not adequate in capacity to drain water away from the site.
 Concern that the Flood Risk Assessment does not consider impact on surrounding properties. Existing public drains not sufficient for additional properties.

The following non-planning matters have been raised:

- Loss of a view
- Loss of property value
- Damage to or removal of adjacent property outside of the application site.

7. ASSESSMENT

- 7.1 As set out in the Planning and Compulsory Purchase Act 2004 (Section 38(6)) planning applications should be determined in accordance with the Development Plan unless material considerations indicate otherwise. This is reiterated within the NPPF (2021). Under section 70(2) of the Town and Country Planning Act 1990 in dealing with planning applications the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations. The Development Plan is defined in Section 28(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".
- 7.2 In Huntingdonshire the Development Plan consists of:
 - Huntingdonshire Local Plan to 2036
 - Cambridgeshire and Peterborough Minerals and Waste Plan
 - St Neots Neighbourhood Plan
 - Godmanchester Neighbourhood Plan
 - Houghton and Wyton Neighbourhood Plan
 - Huntingdon Neighbourhood Plan
 - Bury Neighbourhood Plan
 - Buckden Neighbourhood Plan
 - Grafham and Ellington Neighbourhood Plan
- 7.3 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of land: Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, para 2 confirms that it is a material consideration and significant weight is given to this in determining applications.
- 7.4 The main issues to consider in assessing this application are if this development is considered sustainable development, having considered the economic, environmental and social elements of this case. The matters for further discussion are those of the;
 - principle of development,
 - impacts upon the character and appearance of the area, residential amenity,
 - impacts upon highway safety,
 - heritage assets.
 - biodiversity,
 - flooding,
 - drainage,
 - ground conditions and contamination,

infrastructure requirements and planning obligations.

PRINCIPLE OF DEVELOPMENT:

- 7.5 Policy LP1 sets out the amount of development the Local Plan seeks to address having regard to the objectively assessed need for development in Huntingdonshire. The Strategy for Development at paragraph 4.4 of the Local Plan confirms that allocated sites are included to promote the deliverability of the strategy.
- 7.6 The application site is located within the Key Service Centre of Somersham. The site is allocated under Policy SM 5 for residential development of approximately 120 homes. Policy SM 5 sets out a number of requirements, including in relation to design, layout, safe access, community benefits, retention of trees and drainage. These matters are considered elsewhere in this report.
- 7.7 Somersham is classified in policies LP2 and LP8 as a Key Service Centre and thus is one of the district's sustainable centres which can accommodate growth. Policy LP2 explains that approximately one quarter of the objectively assessed need for housing and limited employment and retail growth will be focussed in Key Service Centres and Small Settlements. Paragraph 4.98 in the supporting text to Policy LP8 notes that Key service Centres have a role in meeting the development needs of the district and supporting the economic vitality of these settlements through a series of allocations for new development.
- 7.8 With regard to the site allocation, whilst the number of dwellings proposed is marginally higher than that within SM 5, para. D.8 within the Local Plan states that there is scope for variation in the proposed numbers through the planning application process and that housing capacities should be design-led and any scheme proposing a variation to the allocation should be justified. A 10% tolerance either side of the approximate figure is considered to be reasonable. As the proposal seeks to provide 10% more than the approximate figure stated within the allocation, it is considered the number of units proposed is acceptable providing that it accords with all other relevant policies of the development plan.
- 7.9 In terms of the principle of development, the proposed development is therefore largely in accordance with the allocation in terms of quantum, use and location and considered to accord with policies LP1, LP2, LP8 and SM 5, subject to other matters considered below.

CHARACTER AND APPEARANCE OF THE AREA:

7.10 Paragraph 126 of the NPPF states that the creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Paragraph 130 explains that decisions should ensure that developments function well and add to the overall quality of the area, are visually attractive as a result of good architecture, layout and appropriate and effective landscaping and are sympathetic to local character and history, including the surrounding built environment and landscape setting.

Layout -

- 7 11 The layout has been subject to a number of revisions since the initial submission and in consultation with HDC Urban Design. The amended layout seeks erection for 132 dwellings (13 less than the original illustrative proposals) and comprises a series of shared surface loop roads and private drives accessed from a central spine road along the western edge of the site. The number of culde-sacs has been reduced to just 2 - serving indicative Plots 48-51 in the centre of the site, south of the swale and indicative Plots 8-27 in the southwest corner. This arrangement has created a predominantly outward facing development with units fronting linear green spaces and existing vegetation adjacent to the eastern, northern and western site boundaries. These linear green spaces incorporate the public open space and include peripheral leisure routes, grass and tree planting which improve access and permeability around the site, improved access to public open space and has the potential to provide a green outlook to these units.
- 7.12 Plots 15-27 form the only units backing onto a short section of western boundary in the southwest corner of the site, these units incorporate longer rear gardens to safeguard existing retained tree and hedge planting adjacent to the site boundary.
- 7.13 An east-west swale is proposed centrally within the site, this includes a footbridge allowing connections N-S and a loop road on the northern edge allowing connections E-W. This space forms an east-west landscape connection between the linear green spaces on the east and west edges and improves permeability and access to the adjacent nature reserve.
- 7.14 An area of open space and the SUDs pond is proposed in the southern half of the site surrounding the retained Willow trees. During the course of the application, Plots 129-131 have been reconfigured and plot 129 orientated to front the southern edge of the Swale and POS.
- 7.15 The scheme provides 2.023 acres / 8,186 sqm of open space this is mainly concentrated within the east and west linear green spaces and the area surrounding the SUDS pond and is well in excess of the 6,249sqm area required by the HDC Developer

Contributions SPD. The linear green spaces are accepted as part of the open space provision given their approximately 10m width and proximity to units as well as the proximity of the larger continuous area of open space within the adjacent nature reserve.

7.16 The proposals include a single point of access from The Bank a further pedestrian only connection is proposed along the eastern boundary providing access to the adjacent Local Nature Reserve site. The access arrangements are supported in design terms.

Landscaping:

- 7.17 The structure and layout of peripheral landscaped spaces contribute to the overall Public Open Space requirement with the perimeter leisure route proving access and permeability which is supported in design terms. The Councils Landscape Officer supports the proposals subject to a condition that requires full details of the hard and soft landscaping specification to ensure that the choice of surface materials and planting species, numbers and densities is acceptable.
- 7.18 The arrangement of knee rails along the outer edge of peripheral roads and green corridors is accepted and prevents vehicle access to these spaces breaks will be necessary to allow pedestrian and maintenance access of these spaces of which details can be secured by way of a boundary treatment condition or details to be provided as part of a detailed reserved matters application.
- 7.19 It should be noted that appearance and scale are reserved matters and therefore are not for consideration or approval as part of this outline application. Therefore, the size, plot arrangement, on-plot parking, internal layouts and external appearance of the house types and other structures will be considered as part of the later reserved matters application.

Parking:

7.20 The proposed indicative layout incorporates a variety of car parking solutions and is provided as a mixture of on-plot spaces in the form of tandem side drives and frontage parking and small rear parking courts. All plots have at least two parking spaces, with a number of larger plots having three spaces in addition to garage space which an provide additional parking subject to the size and accessibility. Whilst the exact extent of parking provision will need to be scrutinised in conjunction with the appearance and scale as part of any reserved matters application, it is considered that the density and layout proposed will provide satisfactory parking provision insofar as design and street scene are considered.

- 7.21 The provision of exclusively on-plot parking would ensure that Electric Vehicle charging can be implemented for all units and will be subject to a condition requiring the preparatory wiring to be installed prior to development above slab level, thereby allowing the future occupant to install an EV charging point in the future as and when they require it.
- 7.22 All units have adequate on-plot space to secure cycle storage in accordance with Local Plan Policy LP17. Details of cycle can be scrutinised as part of the appearance and scale reserved matters submission and will be determined in conjunction with the size of the units.
- 7.23 The proposal is therefore considered to represent a high-quality development in this location and achieves the design aspirations for this area sought by Policy SM 5, LP11 and LP12 of the Local Plan (2019) and the Design Supplementary Planning Document (2017), the National Planning Policy Framework (2021) and the National Design Guide (2019).

RESIDENTIAL AMENITY:

7.24 Policy LP14 within the adopted Local Plan to 2036 and the NPPF seek to ensure developments do not have an unacceptable impact upon residential amenity for both existing and future occupiers/uses.

Existing Occupants:

7.25 There are a number of buildings surrounding the application site which are within a variety of uses. The closest residents to the application site are those along Chatteris Road which will experience a change in outlook, but it should be noted that change does not necessarily equate to harm. It should also be noted that objections that have been received on the grounds of loss of a view, or loss of property value are not material planning considerations that can be given any weight in the determination of the application.

Overlooking to adjacent houses:

7.26 The appearance and scale of the proposed building is not known at this stage and the position of windows and exact separation distances having regard for privacy will be scrutinised at any reserved matters stage. The submitted layout plan shows that the development is capable of delivering a scheme which would not give rise to unacceptable loss of privacy by overlooking. Where there are close relationships with existing properties, existing and proposed landscaping will provide screening. The finished floor levels of all plots relative to existing ground levels will be secured by a condition to ensure that internal floor levels or on plot ground

levels do not provide uninterrupted views into the private areas of neighbouring properties.

Overbearing impacts:

7.27 The scale and exact position of the proposed dwellings is not known at this stage and will be considered and scrutinised as part of any subsequent reserved matters application in terms of scale and appearance. However, the layout does not give rise to concerns in terms of the likely position, distance and orientation of any proposed dwellings in relation to existing neighbouring properties. As such the plot layout and siting of the proposed units is not considered to result in a significant overbearing relationship.

Light/Sunlight:

7.28 The proposed residential plots are situated north of the immediately adjoining residential properties that front Chatteris Road. Due to the position, orientation and distances proposed, and having regard for the likely two storey scale of any proposed development, it is not considered that the development would result in unacceptable loss of light or direct sunlight to any existing neighbouring properties.

Construction:

7.29 Local residents have raised concerns that the construction process is likely to result in noise, vibration and dust adversely affecting amenity over the construction period. It is acknowledged that the construction is likely to result in temporary exposure to adverse impacts. However, such impacts are unavoidable and can concerns raised can only be given little weight in the determination of the application. The Councils Environmental Health Officer has recommended a Construction Environmental Management Plan (CEMPT) be secured by way of a planning condition to control and mitigate the impacts as far as practicable having regard for the amenity and living conditions of existing nearby residents. The CEMP shall also require details of the construction hours of operation, construction traffic routing, deliveries etc.

Future Occupants:

- 7.30 With regard to overlooking impacts between units, back-to-back distances are typically at least 21m. This back-to-back distance is in accordance with the recommendations contained within the Design Guide and is considered acceptable given the density, location of the site and the distances between existing neighbouring dwellings.
- 7.31 With regards to the internal and external amenity space, the proposed layout and density provides a good indication that each plot will have an adequate level of outside space. Internal space

- will be assessed against the national space standards as part of considering the appearance and scale of any reserved matters application.
- 7.32 The application site is in close proximity to Dews Coaches to the east of the site boundary. Policy SM 5 acknowledges that this adjacent use could give rise to impacts with regards and noise. In relation to these matters, the application is supported by a noise Assessment which has been considered by the Council's Environmental Health Officer. No objection is raised subject to the consideration, approval and implementation of acoustic glazing and ventilation requirements for some units which are in closest proximity to the noise source. Such matters can be considered as part of the scale and appearance of the house types which are to be approved as part of any subsequent reserved matters application.

Amenity Summary:

- 7.33 The NPPF within the core principles states that planning should "create places with a high standard of amenity for existing and future users" and Policy LP 14 of the Local Plan to 2036 also seeks to protect the amenity of future occupies and the amenities of neighbouring users.
- 7.34 Taking the above into account, it is considered that subject to the imposition of conditions, the proposed development is considered to be acceptable in terms of the impacts upon residential amenity and complies with the NPPF in this regard, policy LP14 of the Local Plan to 2036.

Housing Mix:

- 7.35 The Cambridge sub-region Strategic Housing Market Assessment (SHMA) 2013 provides guidance on the mix of housing required for Huntingdonshire up to 2031. This gives broad ranges reflecting the variety of properties within each bedroom category. This indicates a requirement for the following mix: up to 4% 1-bedroom homes, 16-42% 2-bedroom homes, 26-60% 3-bedroom homes and up to 30% 4 or more-bedroom homes.
- 7.36 The Cambridgeshire and West Suffolk Housing Needs of Specific Groups report was released in October 2021. This indicates a requirement for the following mix: up to 10% 1-bedroom homes, 20-30% 2-bedroom homes, 40-50% 3-bedroom homes and 20-30% 4 or more-bedroom homes.
- 7.37 It should be noted that the current application excludes consideration of the appearance and scale of the residential units and therefore it cannot be assessed against the housing mix requirements of Policy LP25 of the Local Plan and any supporting or subsequent evidence of housing need. It is recommended that the exact mix of the open market housing be secured by way of a planning condition on any outline planning permission. The

housing mix submitted as part of the Reserved Matters application will need to have regard for Policy LP25 and the supporting evidence to ensure that mix submitted reflects both the character of the area and the housing needs of local residents.

- 7.38 With regard to the development meeting the requirements of Policy LP 25 criteria f to h (meeting M4 (2) & M4 (3) building requirements, it is considered that all the dwellings are able to meet the requirements of M4(2). Conditions will be attached securing these Building Regulation requirements.
- 7.39 Subject to conditions and the submission of the reserved matters application (appearance and scale), the current proposals are considered to be in compliance with Policy LP25 of Huntingdonshire's Local Plan to 2036 and the proposal is capable of providing a good mix of sizes and types of dwellings on the site.
- 7.40 The requirements within policy LP12 of Huntingdonshire's Local Plan to 2036 relating to sustainable design and construction methods are applicable to all new dwellings. This states that all dwellings should meet Building Regulation requirement Approved Document G for water efficiency. It is considered that the dwellings are capable of meeting this requirement, achieving a water efficiency of 125L per day per person. A condition will be attached to ensure that the dwellings are built in compliance.

SUSTAINABILITY, ACCESS AND TRANSPORT:

- 7.41 The NPPF requires all developments that generate significant amounts of movement to be supported by a Travel Plan and Transport Assessment (TA) / Transport Statement (TS)(paragraph 113). National and local planning policy relating to transport and access promotes sustainable development which should give priority to pedestrian and cycle movements, have access to high quality public transport, create safe and secure layouts and minimising journey times.
- 7.42 Paragraph 110 of the NPPF states that in assessing sites which may be allocated for development decision should ensure that appropriate opportunities to promote sustainable transport modes can be or have been taken up, given the type of development and its location; that safe and suitable access to the site can be achieved for all users; the design of streets, parking areas, other transport elements and the content of associated standards reflects current national guidance, including the National Design Guide and the National Model Design Code and that any significant impacts from the development on the transport network (in terms of capacity and congestion), or on highway safety, can be cost effectively mitigated to an acceptable degree. It goes on to state that development should only be prevented or refused on transport grounds if there would be an unacceptable impact on

highway safety or the residual cumulative impacts of development on the road network would be severe.

- 7.43 Somersham is defined as Key Service centre within the Local Plan and can therefore meet many of the day to day needs of residents. Leisure, employment and local facilities including retail, and schools are located within the village and accessible to the site by walking and cycling.
- 7.44 The application is accompanied by a Transport Assessment (TA) by ADC Infrastructure which has been assessed by the County Council, as Local Highway Authority (LHA). The TA considers the expected impacts of the development and an overview of the likely transport-related interventions for a fully built out development. The Local Highway Authority concludes;
 - A range of facilities and amenities in Somersham are situated within acceptable walking and cycling distance from the site. The TA Highlights that there is a footway along the northern side of Chatteris Road providing pedestrian connectivity to the services and amenities within the village. A site visit confirms this footway terminates at the nature reserve access along Station approach for circa 73m before it commences again connecting to the existing network in Somersham. Given the nature of this stretch of road. The Highway Authority do not consider that a footway here would be suitable and that the existing quiet and wide carriageway can safely accommodate pedestrians where there is no footway. Overall, in respect of walking and cycling, it is considered that the development site is connected to the village.
 - In addition to the existing cycle and pedestrian connectivity, a new connection for non-motorised users will be provided between the development and the neighbouring local nature reserve to the west of the site. Such provision would accord with SM 5 of the Huntingdonshire Local Plan and will be secured by way of a planning condition. 2m wide footways will also be provided on both sides of the main site access junction and will link with the existing footway network.
 - It is acknowledged that the frequency of local public transport services in Somersham is low.
 - It is noted that on site car and cycle parking provision will be provided in line with CCC parking standards.
 - In terms of trip generation, it is expected that the development will generate 83 two-way vehicle trips in the AM peak and 82 two-way vehicle trips in the PM peak. The development is anticipated to generate 4 pedestrian trips, 2 cycle trips, and 1 public transport trip in peak periods. The trip distribution is agreed by the LHA.

- Having regard for existing committed development, the LHA are satisfied with the rationale submitted and notes that there is no committed development in the site vicinity.
- It is agreed that all junctions modelled within the TA are anticipated to operate within capacity for all future year scenarios.
- The Local Highway Authority seeks mitigation in the form of securing the additional footpath link and the provision of Welcome Travel Packs to encourage the use sustainable travel from the site.

Trip Generation and Access Points:

- 7.45 As noted, the single point of vehicular access to the site will utilise the existing southern access
- 7.46 Overall, the LHA accept the findings and conclusions of the amended TA in terms of network peaks, accident data, trip generations and junction capacity assessments. It is considered that the proposed development will not result in a material impact at the junctions assessed and any increase in traffic is unlikely to be discernible from daily fluctuations on the network and it is therefore concluded that the development impact is not severe. The LHA have confirmed that there are no objections to the proposals subject to a mitigation package. These details can be secured within the Section 106 Agreement.

Internal Layout, Car and Cycle Parking:

- 7.47 Roads within the site have been designed as a series of shared surface streets with main carriageway widths between 4.8m and 6m. The road network has been designed to ensure that there are different surface treatments, localised road narrowing and tree planting/soft landscaping limiting forward visibility. These features help ensure low traffic speeds throughout the site and pedestrian priority.
- 7.48 It is proposed to offer these roads up for adoption, This is considered acceptable in principle and full details of construction, management and maintenance prior to adoption by the County Council will be secured by condition.
- 7.49 Car Parking There are no specific parking policy standards within local policy. Local Plan policy LP17 requires appropriate space within the site for vehicular movements, facilitates accessibility for service and emergency vehicles and incorporates adequate parking for vehicles and cycles. The policy also requires clear justification for the level of vehicle and cycle parking proposed having regard to the following factors:
 - Highway safety to and from the site
 - Servicing requirements

- Accessibility of the development to a wide range of services and facilities by public transport, walking and cycling
- Needs of potential occupiers
- Amenity of existing and future residents
- Opportunities for shared provision
- 7.50 Car Parking The housing mix (scale and appearance) is not known at this stage. The size of the dwellings will dictate the quantum of on-plot parking provision which will in turn inform the on-plot layout. These matters will be considered and scrutinised at the reserved matters stage, but the indicative layout suggests that sufficient parking can be provided within the site to satisfy policy LP17 of the Local Plan.
- 7.51 Cycle Parking The housing mix (scale and appearance) is not known at this stage. In accordance with Policy LP17 each property will need to be provided with cycle parking, with a provision of 1 space per bedroom. This provision will be required by condition with details to be considered and approved as part of any subsequent reserved matters application. This approach is supported. The provision of cycle parking is considered acceptable, and a condition can ensure that the cycle parking is provided prior to occupation of each unit.
- 7.52 These mitigation and enhancement measures are considered acceptable and should be secured by conditions and through a S106 Agreement where appropriate.

Highways Summary

- 7.53 Taking all the above into account, it is considered that the proposed means of accessing and circulating this site is acceptable and that the proposal complies with Policies SM 5, LP16 and LP17 of Huntingdonshire's Local Plan to 2036.
- 7.54 It is considered that the access details proposed are acceptable for the scale of development sought and opportunities to promote sustainable transport modes can be achieved. Therefore, it is Officer opinion that the proposed development of this sustainable site can be supported in highway terms subject to a number of conditions and obligations.

HERITAGE ASSETS:

7.55 The NPPF recognises the importance of preserving heritage assets and supports sustainable development. Paragraph 8 of the NPPF confirms the three strands of sustainability. In relation to environmental matters this confirms that this includes protecting our natural, built and historic environment. Section 16 of the NPPF (paragraphs 189 to 208) sets out principles and policies for conserving and enhancing the historic environment. Paragraph

199 also advises that great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (LBCA) states that special regard shall be paid to the desirability of preserving listed structures or their settings or any features of special architectural or historic interest which they may possess. Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires special attention to be paid to the desirability of preserving or enhancing the character or appearance of conservation areas.

7.56 The site is not within the Somersham Conservation Area nor is it considered to be within the setting of the Conservation Area given the distance and intervening scale and forms of development. The site does not fall within the setting of any listed buildings or other heritage assets.

Archaeology:

- 7.57 With regards to archaeology, Cambridgeshire County Council has advised that preliminary archaeological fieldwork for the site has been completed. Roman period archaeological evidence was present within the site, seeming to be confined to the northern third of the site - mostly in the proposed Phase 3 area. A small area of interest relating to Late Medieval or slightly later brick making was found in the north-eastern corner of Phase 2 and this, too, will require excavation and interpretation, especially since The Bishop's Palace and other notable buildings on the village were substantially made of brick, with imported stone quoins or facades also used, particularly in the Post-Medieval period. It is recommended that an archaeological investigation programme is conducted in advance of construction in order that the significant archaeological evidence that is contemporary with the known, published, Roman inland port excavated at Colne Fen Quarry to the east and surrounding supply farms, e.g., that excavated and published at Knobbs Farm Quarry to the north-east can be preserved by record and the construction impacts mitigated by this measure.
- 7.58 Taking all the above into account, it is considered that subject to the imposition of a condition with regards to archaeology, the proposed development is acceptable with regard to the NPPF, Policy LP34 of Huntingdonshire's Local Plan to 2036.

BIODIVERSITY:

- 7.59 Paragraph 174 of the NPPF states that 'the planning system should contribute to and enhance the natural and local environment by:
 - *protecting and enhancing valued landscapes, sites of biodiversity or geological value and soils;

- *recognising the wider benefits of ecosystem services; minimising impacts on and providing net gains for biodiversity.'
- 7.60 Policy LP30 of Huntingdonshire's Local Plan to 2036 aims to conserve and enhance biodiversity and advises that opportunities should be taken to achieve beneficial measures within the design and layout of development and that existing features of biodiversity value should be maintained and enhanced. Policy LP30 also notes that a proposal will ensure no net loss in biodiversity and provide a net gain where possible and that large scale development proposals should provide an audit of losses and gains in biodiversity.
- 7.61 The site itself is not subject to any statutory or non-statutory nature conservation designations. There are three statutorily designated sites in proximity to the site, the closest one being the Ouse Washes approximately 3.5km south-west of the site.
- 7.62 The application is supported by a site-specific Ecological Appraisal dated December 2021 which concludes the following:
 - The application site is considered to be of low ecological value, comprising a large species poor semi-improved grassland, bound by dry ditches supporting hedgerows and tree lines.
 - Reptiles and dormice are absent from the site, and the breeding bird survey recorded common and widespread species. A Barn Owl was seen utilising one of the trees within the site, which it was seen emerging during dusk hours, there was no evidence recorded of breeding at the time.
 - Twelve species/species groups were recorded utilising the site to some degree, the majority of these were all common species, with common pipistrelle the most recorded species. Barbastelle Barbastella barbastellus, which are Annex II species, were recorded lower numbers.
 - No suitable breeding habitat for GCN is present on site. Low numbers of GCN in ponds P5 and P6, with eDNA confirming present in pond P2. The presence of this species is considered a constraint to the development proposals and will require appropriate mitigation measures which will require site specific or district licensing.
 - Current development proposals will provide additional native woody species planting to reinforce the existing hedgerows and treelines as important wildlife corridors. Habitat creation of grassland and a SUDS, will use diverse seed native seed mixes, and will be managed to provide a mosaic of habitats offering good invertebrate habitats as an

- important foraging resource for a variety of wildlife. Further planting of trees, shrubs and hedgerows within the urban infrastructure will offer important pollinator B-lines throughout the development proposals.
- Habitats that will be lost to the proposed development include the species poor semi-improved grassland habitat that comprises the majority of the habitat on the application site. Hedgerow H1 on the southernmost boundary, will be lost in their entirety to facilitate access onto the site for pedestrian footpaths and roads.
- The retention and enhancement of the majority of features present within the site that are suitable for breeding birds, particularly the hedgerows, treelines and woodland edges on the eastern and western boundaries, will ensure continued use of the site by local bird populations and compensate for the loss of some existing hedgerows.
- 7.63 The submitted appraisal makes various recommendations for biodiversity enhancements and mitigation of which full details can be secured by way of a condition that requires the submission and approval of a biodiversity enhancement plan/strategy. The recommendations include the following measures:
 - A mixture of nest box types can be sited within retained habitats, or designed directly into the built environment
 - Removal of any vegetation suitable to support nesting birds will take place outside of the bird breeding season
 - The retained hedgerows and other woody nesting habitat should be buffered and protected with Heras fencing during construction, to protect it from accidental damage or disturbance.
 - Additional survey work is undertaken prior to development to determine the presence of Barn Owls.
 - Installation of a barn owl box on a mature tree to the northwest corner of the site at least 30 days prior to construction.
 - The planting of species rich and tussock grassland being provided around the peripheries of the site, providing limited foraging ground for Barn Owls.
 - In addition, the introduction of new native planting across the site and the creation of wetland habitat with SUDs features will increase the biodiversity of the site.
- 7.64 The proposals are also supported by a Biodiversity Net Gain metric, which demonstrates that the proposals will deliver 1.4 hedgerow units (52.76% increase) and 0.32 river units (506.4% increase). However, the proposal will result in the loss of 2.34

- habitat units (13.44% decrease). The Wildlife Trust has however calculated the amount to be closer to 3.8 habitat units.
- 7.65 The proposal therefore, when considered overall will result in a small biodiversity loss. The applicant therefore has agreed to contribute towards biodiversity enhancements off site. The exact value of the contribution is not yet known or agreed and delegated authority is requested to agree the contribution amount and location of the spend prior to any permission being granted. However, the Wildlife Trust has indicated that the amount is expected to be between £78,000.00 and £98,000.00 (based on DEFRA's latest guidance of between £20,000 and £25,000 per unit) with a number of sites in the locality where the contribution could be spent. The Cambridgeshire Wildlife Trust consulted as part of the application has agreed to the contribution and will support the applicant in delivery of a scheme off-site that will ensure, overall, that there is not a biodiversity loss.
- 7.66 The proposals therefore adequately demonstrate the redevelopment of the application site and an associated off-site contribution will result in no net loss of biodiversity, in compliance with both the NPPF and Local Plan policy LP30.
- 7.67 Subject to necessary conditions and off-site contribution, the proposal is considered to comply with the NPPF and policy LP30 of Huntingdonshire's Local Plan to 2036.

FLOODING, DRAINAGE, GROUND CONDITIONS, CONTAMINATION and HEALTH/ SAFETY:

Flooding and Drainage

- 7.68 The overall approach to flooding is given in paragraphs 152-173 of the NPPF and these paragraphs set out a sequential, risk-based approach to the location of development. This approach is intended to ensure that areas at little or no risk of flooding are developed in preference to areas at higher risk. It involves applying a Sequential Test to steer development away from medium and high flood risk areas (FZ2 and FZ3 land respectively), to land with a low probability of flooding (FZ1).
- 7.69 The application site falls within FZ1 as designated within the Strategic Flood Risk Assessment 2017, which represents the lowest flood risk of flooding from rivers and sea. Notwithstanding this, given the scale of development proposed, the application is supported by a site-specific Flood Risk Assessment and Drainage Strategy (FRA).
- 7.70 CCC as the Lead Local Flood Authority (LLFA) commented on the application and raised initial concerns as the application did not contain evidence from the Internal Drainage Board that an in-

principle agreement had been reached to discharge into an existing watercourse. Concern was also raised that permeable paving was excluded from the surface water drainage proposals.

- 7.71 Following receipt of additional and updated details the LLFA have confirmed that they have no objections to the development, noting that surface water from the proposed development can be managed through the use of online attenuation pond and swale to hold and treat surface water before discharging to the watercourse to the east of the site at a rate of 3.1l/s. Offline attenuation is also proposed by means of geocelullar attenuation creates. The LLFA has agreed that details of interception source control will be expected at the reserved matters stage.
- 7.72 A number of conditions have been requested which include securing a detailed surface water drainage scheme for the site; details for the long term maintenance arrangements for the surface water drainage system; details of measures indicating how additional surface water run-off from the site will be avoided during the construction works; and upon completion of the surface water drainage system (and prior to their adoption by a statutory undertaker or management company) a survey and report to confirm that the surface water drainage system has been constructed in accordance with the approved details should be submitted. These conditions are considered acceptable and meet the statutory tests.
- 7.73 Anglian Water (AW) has commented on the application raising no objections to the scheme. AW advises that foul drainage from this development is in the catchment of Somersham Water Recycling Centre and there is available capacity for wastewater treatment of flows from this site. Regarding surface water disposal, it is confirmed that SuDS would be the preferred method with connection to the sewer as the last option and a condition is recommended to secure further details. The condition recommended by the LLFA to secure details of the surface water drainage scheme will ensure that clarity with regards to proposed surface water drainage arrangements is provided and that adequate provision is made for the drainage of surface water.
- 7.74 It is therefore considered that subject to conditions, the development can be made acceptable in flood risk terms, in accordance with the NPPF and Policy LP5, LP6 and LP15 of Huntingdonshire's Local Plan to 2036.

Ground Contamination

7.75 The Environmental Health Officer has reviewed the submitted application and confirms that the site lies adjacent to Dews Coaches which could have released various contaminants in the

past that may have migrated on to the application site, for example fuels, oils, anti-freeze, etc, which could have caused pollution to the groundwater and may allow harmful vapour emissions to enter and accumulate in any future development. It is recommended that a land contamination risk assessment (and if necessary a remediation strategy) should be secured by condition and submitted for approval by the Local Planning Authority prior to the commencement of development. Where it is necessary to carry out land contamination remediation work, a remediation and verification report should also be submitted to and agreed by the Local Planning Authority prior to occupation of the site.

7.76 Subject to a condition that requires such remediation and verification, the application would accord with Policy LP37 of the Local Plan (2019) which requires that that where ground contamination is a risk due to previous land uses, this needs to be investigated and remediated where necessary. The proposal would also therefore comply with Paragraph 183 of the NPPF (2021).

OTHER MATTERS:

Third Party Comments -

- 7.77 The following require clarification:
 - Construction Impacts A Construction Environmental Management Plan will be secured by condition to ensure satisfactory details of the construction process are provided to mitigate the impacts upon neighbours.
 - Drainage The Local Lead Flood Authority (LLFA) has assessed the proposals and is satisfied that the site can be adequately drained without increasing flood risk elsewhere. The drainage engineer from the LLFA met with a local resident from the area with concerns regarding the local ditch network and proposals for the discharge of water from the site. Following this inspection, it was confirmed that the residents' concerns are substantiated and it has been confirmed that work is required to the ditch as a discharge location in order to be suitable to handle the flows of water proposed as part for the drainage strategy. A condition is recommended that a full survey of the downstream ditch network must be undertaken, submitted and approved prior to the commencement of development, with any necessary remediation works undertaken before discharge of surface water to the ditch.

INFRASTRUCTURE REQUIREMENTS AND PLANNING OBLIGATIONS:

7.78 Statutory tests set out in the Community Infrastructure Regulations 2010 (Regulation 122) require that S.106 planning

obligations must be necessary to make the development acceptable in planning terms, directly related to the development and fairly and reasonable related in scale and kind to the development. S.106 obligations are intended to make development acceptable which would otherwise be unacceptable in planning terms.

- 7.79 Without prejudice to the eventual determination of the planning application, negotiations have been held with the applicants in order to determine the extent of the obligations required to make the development acceptable. These negotiations have been held in line with the advice within the Regulations and the outcome is summarised below. Other relevant matters will be addressed via specific planning conditions.
- 7.80 The Developer Contributions SPD sets out that contributions cannot be sought for proposals under 200 units and instead all contributions fall under CIL.

Community Infrastructure Levy (CIL):

7.81 The development will be CIL liable in accordance with the Council's adopted charging schedule; CIL payments could cover infrastructure relating to footpath and access, health, community facilities, libraries and lifelong learning, and education.

Affordable Housing:

- 7.82 The site is over 0.5 hectares in size and Local Plan 2036 policy LP24 seek to achieve a target of 40% affordable housing on sites of this size; based on 131 open market units this would equate to a total of 52 affordable units. An affordable housing requirement will not be placed on the self-build plot in the north eastern corner of the site providing this plot is secured as a separate self-build plot via a S106 agreement. These policies do acknowledge that, in determining the amount and mix of affordable housing to be delivered, site specific considerations and other material considerations will be taken into account.
- 7.83 The applicant has agreed to provide affordable housing on site and the location and distribution will be agreed as part of any subsequent reserved matters application with the Council's Affordable Housing Officer. The exact mix of units in terms of tenure, scale and appearance will be the subject of a planning obligations contained within a Section 106 agreement and will be reflected within the subsequent reserved matters submission.
- 7.84 This approach is acceptable to Officers and subject to final wording within the S106 Agreement, the scheme is supported with provision of on-site affordable housing in accordance with Policy LP24.

Green Space:

- 7.85 In accordance with the Developer Contributions SPD (2011) (Part B), this development should provide 0.849Ha of informal green space on-site and due to the scale of the development formal green space can be negotiated.
- 7.86 The low density of development has resulted in an overprovision of green space on the site. The scheme provides 8,186 sqm of open space this is mainly concentrated within the east and west linear green spaces and the area surrounding the SUDS pond and is well in excess of the 6,249sqm area required by the HDC Developer Contributions SPD.
- 7.87 The improvements to pedestrian connectivity to existing adjacent public open space will also increase access for future residents.
- 7.88 HDC Operations Officers have acknowledged that there is not a shortfall of open space and play provision within Somersham but given the detachment of the development from the settlement, on site open space should be provided and be concentrated in central and accessible parts of the site. The scheme has been amended to reflect consultation responses. In accordance with the Developer Contributions SPD as the scheme is under 200 dwellings there is not a requirement to provide any play equipment on site, there is however space to provide play equipment in future should the need arise.
- 7.89 The Developer Contributions SPD details a cascade mechanism for future management and maintenance of green space with the land first offered to the Town/Parish Council for adoption, then to the District Council and then taken on by a Management Company. The usual cascade mechanism in the *SPD is* to be included in the Section 106 in order to secure the long-term management and maintenance of the areas of shared open space. A Landscape Maintenance contribution will be secured through the S106 Agreement in the event that the open space is to be transferred to the Town or District Council.
- 7.90 HDC Active Lifestyles Officer has requested a S106 contribution of £81,998 as an offsite contribution towards formal open space sports facilities. It is accepted that existing playing pitches are well used and the demands placed on them will increase as a result of the increased population arising from this development. Therefore, opportunities to enhance this existing provision to increase capacity for the additional population are currently being assessed. A fully detailed and costed project has not been confirmed at this stage to establish compliance with the requirements of the CIL Regulations. However, Officers will continue to assess the potential contribution and seek to secure this, subject to CIL compliance. Therefore, delegated authority is requested to finalise this aspect. A further update will be provided prior to or at the Development Management Committee.

Biodiversity Net Gain

7.91 Cambridgeshire Wildlife Trust has requested a sum of between £78,000.00. and £98,000.00 with a number of sites in the locality where the contribution could be spent. It is requested that the final contribution amount and spend of that contribution be agreed with the applicant using delegated authority prior to the determination of the application.

Highways and Access:

- 7.92 Policies LP16 and LP17 of the Local Plan are relevant. Transport and highways are included within Part C the Developer Contributions SPD as a negotiated requirement, which is dependent on the development and its impact on the local area.
- 7.93 The County Council as Local Highways Authority have requested the following transport mitigation which, as referred to in the Access section of this report, are considered necessary to ensure the development is acceptable in highway terms:
 - Residential welcome packs with free bus pass travel for residents.
 - Provision of an un-motorised link between the western site boundary and the adjacent wildlife site.
- 7.94 The developer will be responsible for direct delivery of the junction layout for accesses, welcome packs and the pedestrian link with the adjacent wildlife site. Conditions will be used to ensure this infrastructure and mitigation is provided within appropriate timescales.

Health:

- 7.95 Policy LP4 of the Local Plan to 2036 relates to provision for infrastructure needs and Part D of the SPD refers to health service facilities. Within paragraph D.10 the SPD states that the Council will negotiate with the prospective developers with a view to securing the necessary health service facility needs for the development. However, the SPD sets out how this will be assessed, noting that contributions will only be sought for proposals over 200 dwellings.
- 7.96 It is Officer opinion that the proposal, in line with the Developer Contributions SPD, is acceptable without securing health contributions and it is noted that the NHS can apply for CIL funding should a project be identified in the future.

Education and Schools:

- 7.97 In accordance with the Developer Contributions SPD, contributions for education and lifelong learning cannot be sought for proposals under 200 units and instead all contributions fall under CIL.
- 7.98 Contributions relating to education and lifelong learning cannot therefore be secured as this would be contrary to the SPD and Local Plan Policy LP4.

Residential Wheeled Bins:

- 7.99 Policy LP4 of the Local Plan to 2036 relates to provision for infrastructure needs, including waste recycling facilities and Part H of the SPD refers to Residential Wheeled Bins.
- 7.100 Each dwelling will require the provision of one black, blue and green-wheeled bin. The current cost of such provision is £150 per dwelling.
- 7.101 Total S106 residential wheeled bins contribution = £19,800.00
- 7.102 This contribution is considered to meet the tests and will be secured through the S106 Agreement.

S106 Total Costs:

7.103 The total costs to be secured through S106, excluding the potential green space maintenance costs which are unknown at this time (but would be secured in accordance with the Developer Contributions SPD) are up to £199,798.00. As referred to above, subject to the final agreement on amount and spend, these costs are all considered to meet the statutory tests and are required to mitigate the impacts of this development.

PLANNING BALANCE & CONCLUSION:

- 7.104 The presumption in favour of sustainable development requires proposals to achieve economic, social and environmental gains; as such a balancing exercise has to be undertaken to weigh the benefits of the scheme against its disadvantages.
- 7.105 In terms of the economic dimension of sustainable development, the proposal would contribute towards economic growth, including job creation - during the construction phase and through the additional population assisting the local economy through spending on local services/ facilities.
- 7.106 Regarding the social dimension, the site appears to have no significant constraints and is deliverable. It would also increase the supply of market and affordable housing and there would be a net benefit in social terms.

- 7.107 In terms of the environmental dimension of sustainable development, the proposal details a high-quality scheme which will secure planting and habitat enhancement and deliver a biodiversity net gain overall. It is therefore considered that there will be a net benefit in environmental terms. The application site constitutes a sustainable location for the scale of development proposed in respect of access to local employment opportunities, services and facilities and this is a further factor in support of the proposal.
- 7.108 Having fully assessed all three dimensions of sustainable development; economic, social and environmental within this report it is concluded that the development of this site will:
 - provide a supply of market and affordable housing to meet current and future generations;
 - maximise opportunities for use of public transport, walking and cycling;
 - minimise pollution;
 - manage flood risk and drainage effectively;
 - have less than substantial harm on designated heritage assets;
 - have no significant adverse impacts on features of landscape or ecological value;
 - provide appropriate infrastructure to meet the needs generated by the development.
- 7.109 When considered in the round, the proposal would positively contribute to the environmental, economic and social dimensions of sustainability and therefore it is recommended that permission should be granted.

8. RECOMMENDATION - Delegate powers to Officers to finalise terms of the S106 agreement in relation to off-site formal sports contribution and off-site biodiversity contribution and, to

APPROVE subject to the prior completion of a Section 106 obligation, to include provision of informal green space, wheeled bins, and on-site affordable housing (and formal sports and biodiversity contribution, subject to CIL compliance), and subject to conditions to include those listed below.

OR

REFUSAL in the event that the obligation referred to above has not been completed and the applicant is unwilling to agree to an extended period for determination, or on the grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.

CONDITIONS:

- Approved plans
- Submission of reserved matters (scale and appearance)
- Finished floor levels
- Materials
- Boundary treatments
- Phasing plan
- Arboricultural Method Statement
- Tree Protection Plan
- Management Plan for existing retained Willow Tree
- Hard and soft landscaping
- Cycle parking provided prior to occupation and retained thereafter
- Lighting scheme
- Details of biodiversity enhancement measures, in line with the Ecological Appraisal
- Surface water drainage details and management / maintenance details
- Surface water run-off measures during construction
- Surface water drainage system construction/ completion report
- Survey/remediation of downstream ditch network
- Electric vehicle charging details
- On-site parking / servicing prior to occupation
- Archaeological investigation
- Construction Environment Management Plan (to include details of dust mitigation, wheel wash facilities,

- temporary parking/ turning/ unloading arrangements during construction, routes for traffic associated with construction, metalled routes and construction hours)
- Contamination Remediation Strategy adherence and any unexpected contamination condition
- Open space equipment, including benches and bins.
- Compliance with the Noise Report recommendations
- Provision and implementation of a Residential Welcome Pack for sustainable transport
- Provision of secondary pedestrian access link
- Road adoption details, construction specification, and maintenance and management arrangements
- Junction construction prior to occupation
- Temporary facilities clear of the public highway during construction
- Road drainage measures
- Visibility splays
- M4(3) Building Regulations compliance
- Approved Document G Building Regulations compliance

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquiries about this report to **Lewis Marshall**, **Senior Development Management Officer** lewis.marshall@huntingdonshire.gov.uk

developmentcontrol@huntingdonshire.gov.uk From:

Sent: 30 September 2019 22:09 To: DevelopmentControl

Comments for Planning Application 19/01790/OUT **Subject:**

Planning Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 10:08 PM on 30 Sep 2019 from Mrs Penelope Bryant.

Application Summary

Address: Land North Of 16 The Bank Somersham

Application for outline planning permission for up to 145

Proposal: dwellings and associated access, all other matters

reserved on land North of the Bank.

Case Officer: Will Tysterman Click for further information

Customer Details

Mrs Penelope Bryant Name:

Email: clerk@somersham-pc.gov.uk

The Norwood Building, Parkhall Road, Somersham PE28 Address:

3HE

Comments Details

Commenter

Town or Parish Council Type:

Stance: Customer objects to the Planning Application

Reasons for comment:

Comments: Councillors have object to the increase of dwellings in

this application. 145 dwellings is excessive and

councillors wish the number of dwellings to remain at

120 as per the Local Plan to 2036.

Sheila Brown

From: developmentcontrol@huntingdonshire.gov.uk

Sent: 15 March 2022 10:41
To: DevelopmentControl

Subject: Comments for Planning Application 19/01790/OUT

Comments summary

Dear Sir/Madam,

Planning Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 15/03/2022 10:40 AM from Mrs Penelope Bryant.

Town or Parish Council

Application Summary

Address:	Land North Of 16 The Bank Somersham
Proposal:	Application for outline planning permission for a phased development of up to 145 dwellings and associated access, approval sought for access, layout and landscaping with scale and appearance reserved, on land North of the Bank.
Case Officer:	Shaun Robson

Click for further information

Customer Details

Name:	Mrs Penelope Bryant	
Email:	clerk@somersham-pc.gov.uk	
Address:	The Norwood Building, Parkhall Road, Somersham PE28 3HE	

Comments Details

Commenter Type:

, ,	
Stance:	Customer made comments in support of the Planning Application
Reasons for comment:	
Comments:	At their meeting last evening Councillors accepted the Noise and Lighting Statement.
	Councillors also wish to reiterate their view the site development proposal is too dense and should only comprise of 120 houses.

Kind regards

Sheila Brown

From: Penny Bryant <clerk@somersham-pc.gov.uk>

Sent: 26 May 2022 10:04

To: Tim Hartley

Cc: 'Irene Healis'; Lewis Marshall; Carry Murphy; Gavin Taylor

Subject: RE: 19/01790/OUT - The Bank Somersham

Morning Tim

Apologies for the delay.

Just to clarify, the council no longer has an objection to the plan for 132 (120 plus 10%) dwellings on the site.

Penny

Penny Bryant BA Hons. FSLCC
Parish Clerk for Somersham Parish Council
The Norwood Building, Parkhall Road, Somersham, Cambridgeshire PE28 3HE, 01487 841359
www.somersham-pc.gov.uk

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From: Tim Hartley <> Sent: 20 May 2022 11:33

To: Penny Bryant <clerk@somersham-pc.gov.uk>

Cc: 'Irene Healis' <deputy.clerk@somersham-pc.gov.uk>; Lewis Marshall <Lewis.Marshall@huntingdonshire.gov.uk>; Carry Murphy <Carry.Murphy@huntingdonshire.gov.uk>; Gavin Taylor <Gavin.Taylor@huntingdonshire.gov.uk>

Subject: RE: 19/01790/OUT - The Bank Somersham

Hi Penny

Many thanks for your email. Can you clarify though whether the formal stance of the Parish Council, now that the application has been reduced to up to 132 dwellings, remains an objection to it or not please?

My contract is coming to an end and I leave the Council on Thursday next week. Lewis is the case officer and I have copied Carry, the new team leader for the south, and Gavin, team leader for the north of the district, in on this email

Many thanks

Tim

Tim Hartley

Development Management Team Leader (South)

Development Services Tel: 07514 621803

From: Penny Bryant <<u>clerk@somersham-pc.gov.uk</u>>

Sent: 20 May 2022 10:15

To: Tim Hartley < Tim.Hartley@huntingdonshire.gov.uk Ce: 'Irene Healis' < deputy.clerk@somersham-pc.gov.uk Subject: RE: 19/01790/OUT - The Bank Somersham

Dear Tim

Councillors discussed your request at their meeting on 18th May 2022 and were agreed it could be amended to reflect 132 dwellings.

Kind regards

Penny

----Original Message-----

From: "Tim Hartley" < Tim.Hartley@huntingdonshire.gov.uk>

Sent: Thursday, 21 April, 2022 15:13

To: "clerk@somersham-pc.gov.uk" <clerk@somersham-pc.gov.uk>

Subject: RE: 19/01790/OUT - The Bank Somersham

Hi Penny

Further to my email below it has been drawn to my attention that the description of the application had not been formally changed to align with the reduction in numbers that is now shown on the revised layout

The formal description of the application is Application for outline planning permission for a phased development of up to 132 dwellings and associated access, approval sought for access, layout and landscaping with scale and appearance reserved, on land North of The Bank.

I have therefore requested a further formal 14 day consultation to the Parish Council so that you can formally reassess whether you continue to object or whether the reduction in numbers means that the Parish Council is able to support the application

Would it be possible to consider this at your meeting on 27 April?

Many thanks

Tim

Tim Hartley
Development Management Team Leader (South)
Development Services

Tel: 07514 621803

From: Tim Hartley

Sent: 21 April 2022 13:34

To: clerk@somersham-pc.gov.uk

Subject: 19/01790/OUT - The Bank Somersham

Hi Penelope

Could you clarify the Parish Council's recommendation please

Your comments to us state that you now support the application but the minutes state that you are objecting

Many thanks

Tim

Tim Hartley
Development Management Team Leader (South)
Development Services
Tel: 07514 621803

Huntingdonshire District Council
Pathfinder House St Marys Street Huntingdon PE29 3TN

Any comments represent the informal opinion of an officer of Huntingdonshire District Council. Any comments made are without prejudice to any eventual determination through the planning process

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Development Management Committee

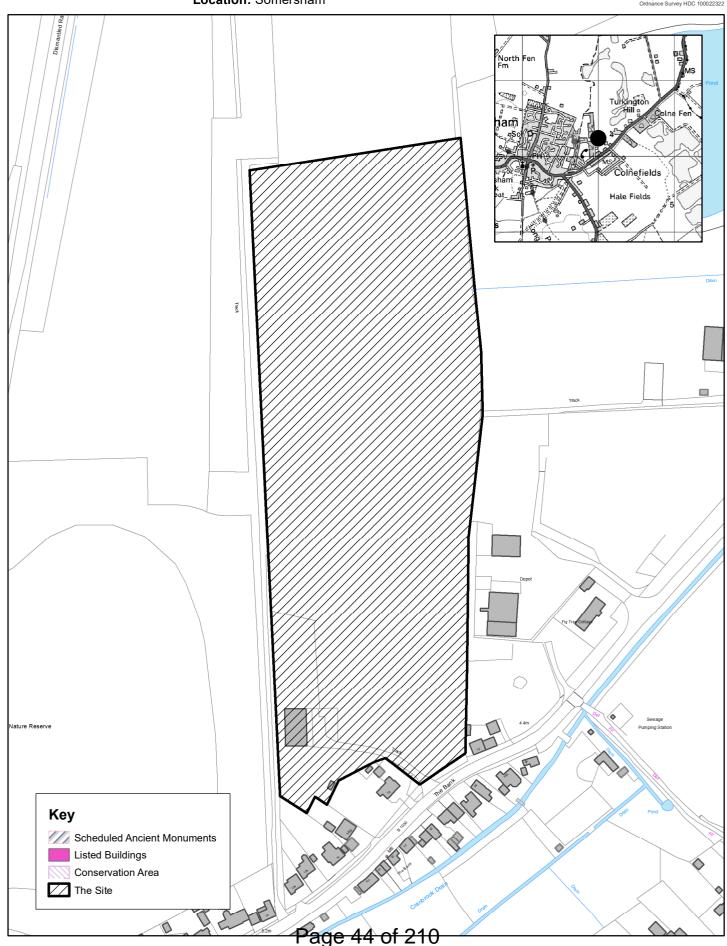


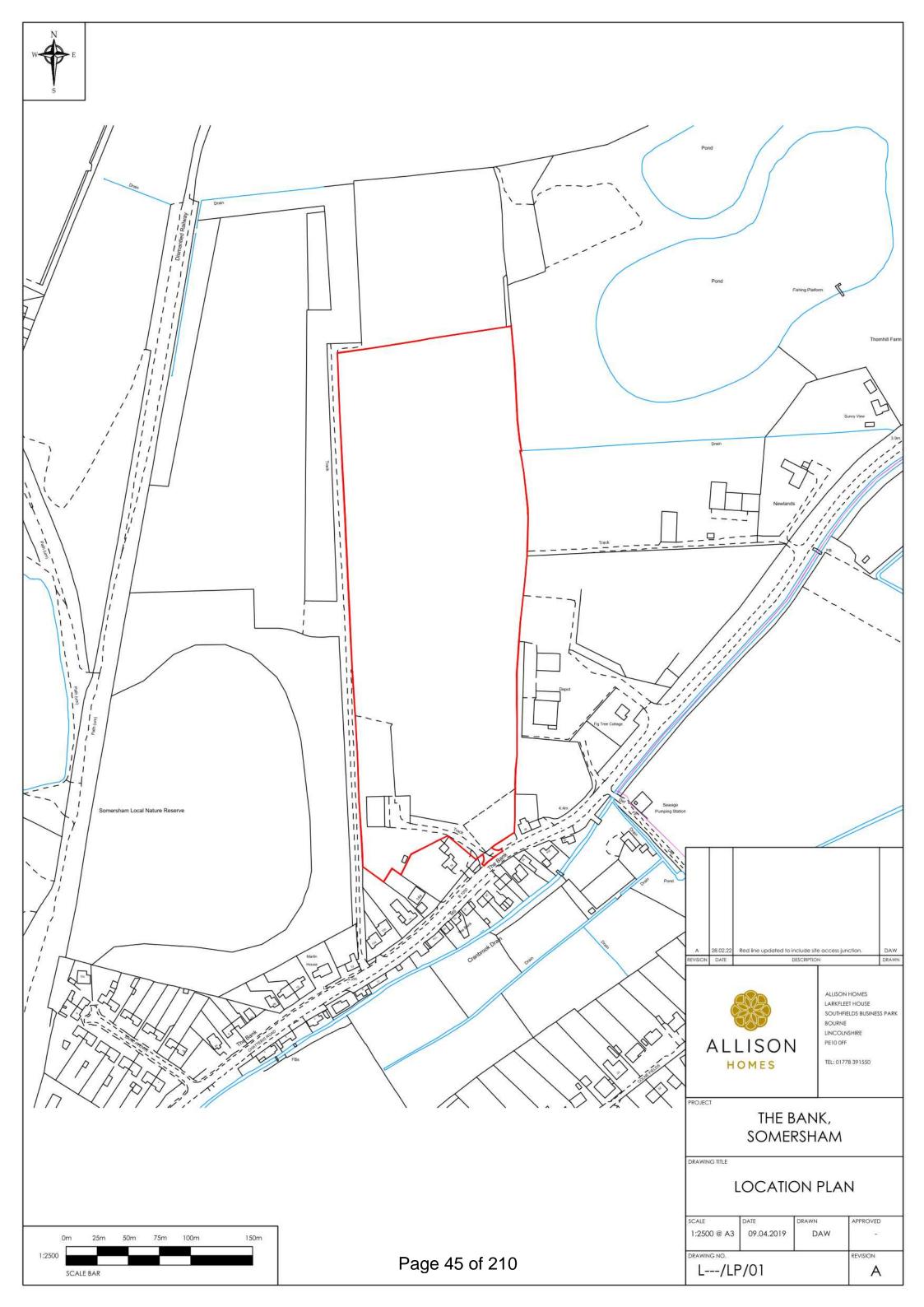
Application Ref:19/01790/OUT

Location: Somersham



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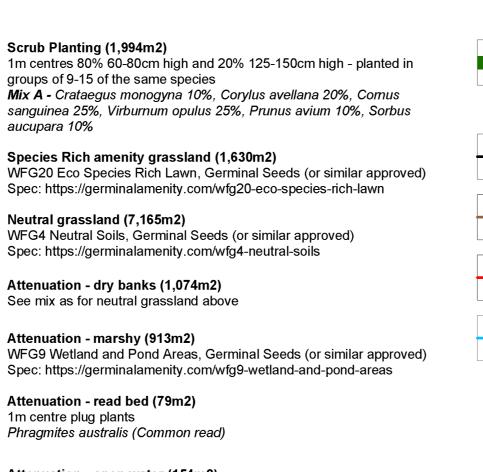






Individual Standard Trees - Feature Trees (Large) 16-18cm girth (RB or C as appropiate) Liquidamber styraciflua 'Worplesdon' (Lsw) Tilia cordata (Tc) **Individual Standard Trees - Public Open Space** 14-16cm girth (RB or C as appropiate)

Betula pendula (Bp) Alnus glutinosa Aq) Prunus padus (Pp) Sorbus aucuparia (Sa) Acer campestre (Ac) Prunus avium (Pa)



Scrub Planting (1,994m2)

groups of 9-15 of the same species

Neutral grassland (7,165m2)

Attenuation - dry banks (1,074m2)

Attenuation - marshy (913m2)

Attenuation - read bed (79m2)

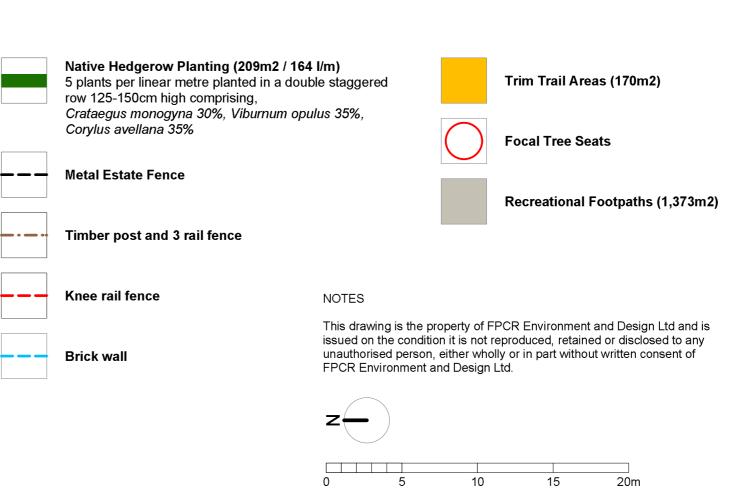
Phragmites australis (Common read)

Attenuation - open water (154m2)

1m centre plug plants

See mix as for neutral grassland above

Species Rich amenity grassland (1,630m2)





DEVELOPMENT MANAGEMENT COMMITTEE 18th JULY 2022

Case No: 20/00923/REM (APPROVAL OF RESERVED MATTERS)

Proposal: RESERVED MATTERS APPLICATION FOR 25

DWELLINGS FOR ACCESS, APPEARANCE, LANDSCAPING, LAYOUT AND SCALE PURSUANT TO OUTLINE PLANNING PERMISSION 17/00101/OUT

Location: D J C PRODUCE PINGLE BANK, HOLME. PE7 3PJ

Applicant: DAVID NJC & SONS FARMS

Grid Ref: 519415 287475

Date of Registration: 27.05.2020

Parish: HOLME

RECOMMENDATION - APPROVE

This application is referred to the Development Management Committee (DMC) in accordance with the Scheme of Delegation as Holme Parish Council's recommendation of refusal is contrary to the officer recommendation of approval. The application has also been called in by the Local Member Cllr Alban.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 The application site consists of a wide-span building (use class B8) and large areas of hardstanding, used by an existing business packing fresh produce, located on the southern edge of the settlement of Holme.
- 1.2 The site is located on the western side of Pingle Bank at the far southern edge of the village of Holme, immediately to the south of Nos.4 and 6 Pingle Bank and No.4A Station Road. The site extends to 0.998ha and is occupied by two large warehouse buildings and abuts the open countryside to the south and west. There is limited existing landscaping on the site, as a result the existing warehouse buildings form prominent structures from views looking north along Pingle Bank.
- 1.3 The area of hardstanding associated with the current use abuts the highway and as such access to the site is along the site frontage.

- 1.4 To the south, east and west of the application site there are agricultural fields. The site is an area of low risk of flooding, within flood zone 1.
- 1.5 This application comprises the submission of reserved matters comprising the details of access, appearance, layout, landscaping and scale for the development of 25 residential dwellings, 40% (equates to 10 dwellings) of which are intended to form affordable units. Vehicular access is to be provided from two new vehicular access points from Pingle Bank.
- 1.6 This reserved matters application is made pursuant to Outline Planning Permission (OPP) reference 17/00101/OUT which granted outline planning permission for 25 residential dwellings following demolition of the existing packing station subject to conditions and a planning obligation which requires a minimum delivery of affordable housing of 40% of the units consented, and includes Green Space, wheeled bin provision and footpath Links (footpath improvements scheme).
- 1.7 The OPP is subject to a number of conditional requirements. Some of the conditions necessitate the provision of specific information which has been provided to accompany this reserved matters submission in regards to conditions 1 (Reserved Matters), 7 (Scheme for the provision of a footpath link and crossing in accordance with the s106), 8 (existing and proposed levels).
- 1.8 Details have been agreed prior to the reserved matters submission in accordance with condition 6 (Phase 1 Ecology Report) of the OPP. These details have been agreed by application reference 20/80143/COND on 6.8.2020. The submission part of this condition has been discharged and it remains for the development to be carried out in accordance with the approved details.
- 1.9 During the course of the application, amended plans and documents have been submitted addressing requirements raised by HDC's Urban Design and HDC's Landscape officer. The first public consultation period ran from 08.07.2020 to 29.07.2020, and a further period of re-consultation has been undertaken with consultees, neighbours, Parish Council and contributors which ran from 26.04.2022 to 27.04.2022.
- 1.10 Site Notices were displayed at the site on 09.07.2020 and 25.04.22.
- 1.11 The application is accompanied by the following reports and documents:
 - Affordable Housing Schedule (Received 6th April 2022)
 - Landscape Specification (Received 25 May 2021)

- Ecology Update letter and Plan
- Proposed drawings and elevations including existing and proposed land levels
- Design and Access Statement (Received 7th May 2021)
- Site Location Plan and Block Plans 10/07/B1 Rev.B
- Detailed House Type Drawings and elevations
- Highway Improvement Plans 10/07/F1 & 10/07/F2

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (20th July 2021) (NPPF 2021) sets out the three objectives economic, social and environmental of the planning system to contribute to the achievement of sustainable development. The NPPF 2021 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'
- 2.2 The NPPF 2021 sets out the Government's planning policies for (amongst other things):
 - delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment.
- 2.3 The National Design Guide (2019):
 - C1 Understand and relate well to the site, its local and wider context
 - C2 Value heritage, local history and culture
 - I1 Respond to existing local character and identity
 - I2 Well-designed, high quality and attractive
 - I3 Create character and identity
 - B2 Appropriate building types and forms
 - M3 Well-considered parking, servicing and utilities infrastructure for all users
 - N3 Support rich and varied biodiversity
 - H1 Healthy, comfortable and safe internal and external environment
 - H2 Well-related to external amenity and public spaces
 - H3 Attention to detail: storage, waste, servicing and utilities
- 2.4 National Planning Practice Guidance and the National Design Guide 2019 are also relevant and are material considerations.

For full details visit the government website National Guidance

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019):
 - LP1 Amount of development
 - LP2 Strategy for Development
 - LP3 Green Infrastructure
 - LP4 Contributing to Infrastructure Delivery
 - LP5 Flood Risk
 - LP6 Waste Water Management
 - LP9 Small Settlements
 - LP10 The Countryside
 - LP11 Design Context
 - LP12 Design Implementation
 - LP13 Place Making
 - LP14 Amenity
 - LP15 Surface Water
 - LP16 Sustainable Travel
 - LP17 Parking Provision and Vehicle Movement
 - LP24 Affordable Housing Provision
 - LP25 Housing Mix
 - LP29 Health Impact Assessment
 - LP30 Biodiversity and Geodiversity
 - LP31 Trees, Woodland, Hedges and Hedgerows
 - LP34 Heritage Assets and their Settings
 - LP39 Ground Contamination and Groundwater Pollution

3.2 Supplementary Planning Documents (SPD) and Guidance:

- Huntingdonshire Design Guide SPD (2017), including:
 - 1.0 Introduction:
 - 1.6 Design principles
 - 2.1 Context and local distinctiveness
 - 2.5 Landscape character areas
 - 2.7 Architectural character
 - 3.5 Parking/ servicing
 - 3.6 Landscape and Public Realm
 - 3.7 Building Form
 - 3.8 Building Detailing
 - 4.1 Implementation
- Cambridgeshire Flood and Water SPD Adopted 2017
- Developer Contributions SPD Adopted 2011 (Costs updated annually)
- Huntingdonshire Landscape and Townscape Assessment
 Adopted 2022
- RECAP CCC Waste Management Design Guide (CCC SPD) 2012
- Huntingdonshire Tree Guidance Note 3
- Annual Monitoring Report Part 1 (Housing)

Local For full details visit the government website Local policies

4. PLANNING HISTORY

The key planning applications relevant to this application are:

- 4.1 17/00101/OUT Proposed residential development of up to 25 dwellings following demolition of existing packing station Approved 03.05.2019.
- 4.2 20/80143/COND Conditional Information for 17/00101/OUT: C6 (Phase 1 Ecology Report) Approved 06.08.2020.

5. CONSULTATIONS

- 5.1 Holme Parish Council recommends refusal of the application and made the following objections summarised below (Full copies attached):
 - *Highway safety issues for pedestrians and vehicles, lack of parking and reduction in width of Pingle Bank making it unsafe and too narrow for larger vehicles, waste collection, farm traffic, fire appliances. The Parish Council also recommended a zebra crossing should be installed and it should be lit.
 - *Design of the development is uninspiring and there is inadequate spacing of homes, nowhere to store bins and cycles.
 - *The open space is not appropriate for 25 homes.
 - *Poor landscape screening which is sparse and should be revisited.

Updated comments received 29.06.2022 in regards to the revised Footpath/Highway works (full comments attached):

- * Raised previous objections regarding the proposed width of the road and footpath, stating contrary to Huntingdonshire Design Guidance.
- * Suggested an alternative route be considered for the footpath going behind Station Road via the Old Coal Yard.
- * Loss of roadside parking along the east side of Pingle Bank, resulting in residents parking on the remaining road creating a further reduction in the width and highway safety issues, access issues for emergency vehicles, farm vehicles and making turning out of driveways more difficult.
- *Agreed the pedestrian crossing point over Station Road is much better and broadly acceptable. Requested that the crossing is upgraded to a controlled crossing to make it safe for pedestrians. Stated a Puffin or belisha controlled/marked crossing is required here.
- *Required advance signage to alert drivers from the level crossing direction.
- *Raised concerns with the pedestrian crossing point over Pingle Bank, require hedge to be regularly cut to ensure visibility maintained secured by condition. Agreed positioning is acceptable, but the crossing should be clearly marked.

- 5.2 Councillor Tim Alban (District Councillor for Stilton, Folksworth & Washingley Ward) Objects and raised concerns summarised as the following:
 - * Highway safety issues with the reduction in parking for existing residents, dangerous positioning of the junction crossing on a busy road, recommends alternative footpath and crossing proposals are submitted.
 - *Updated comments received 27.06.2022 on the revised highway works Objects to the proposals, repeated previous concerns.
- 5.3 Cambridgeshire County Councillor Simon Bywater (Sawtry and Stilton Division) objects to the proposals summarised as the following:
 - Highway safety issues with the proposed new footpath and crossings.
 - * Updated comments received 28.06.2022 Previous objections remain.
- 5.4 05.07.2022: Cambridgeshire County Council Local Highway Authority (LHA) Commented (following receipt of amended highway plans June 2022):

Notes that internal the layout does not currently represent a design that would be considered for adoption but a condition requiring a management plan that includes neighbour parking which could resolve any amenity issue related to the removal of the existing layby would be acceptable

The access roads where they meet Pingle Bank are of a sufficient width to cater for the new dwellings and the vehicle-to-vehicle splays indicated are suitable given the posted speed of the Pingle Bank.

Regarding the revised highway improvement plans;

"The proposal accords with the principle of the Outline consent, where the relative impact of vehicles for the existing (B8 Storage and Distribution) and the proposed (Residential) development was considered and accepted.

"The works proposed to Pingle Bank now indicate an improvement to the existing highway which equal to or better than existing road widths in accordance with criteria within Manual for Streets (1&2) for the movement of two-way traffic flows.

"The proposal includes a 1.8m wide standard footway which is suitable to cater for the existing and proposed development for the number of pedestrians likely to use it, and provides a significant improvement over the existing scenario. This infrastructure will serve to link the proposed development and the

existing dwellings to the existing pedestrian network adjacent Station Road.

"The proposed pedestrian crossing points located on Pingle Bank have visibility of 43m in accordance with the posted speed of the road (30mph); further, whilst some splays are indicated as 43m, the available visibility is in far in excess of that required.

"The junction of Pingle Bank and Station Road is located on a bend where vehicle speeds are highly unlikely to be higher than the posted speed limits. Accordingly, inter-visibility between vehicles and drivers is satisfactory to enable pedestrians to cross in a safe manner.

"Crossing points indicated are not controlled crossing points but are suitable for the nature of the highway and numbers of pedestrians likely to use them. It would not be reasonable to request anything over that proposed and, therefore, doing so would fail the tests in planning terms. It would therefore not be possible to defend at any subsequent appeal."

Requests conditions relating to future management and maintenance of unadopted streets; Roads built to binder course level prior to occupation; minimum access widths; access constructed to CCC specification; parking provide prior to occupation; visibility splays secured prior to first occupation; temporary facilities stored clear of the highway, access drainage to be agreed; wheel washing facilities to be provided; off-site highway works to be provided prior to first occupation.

- 5.5 Cambridgeshire Constabulary No objections subject to securing details of external lighting by condition.
- 5.6 Water & Planning Manager, Community Fire Safety Group No objections subject to securing details for the provision of fire hydrants by condition.
- 5.7 Cambridgeshire County Council, Lead Local Flood Authority No objections.
- 5.8 Environment Agency Wishes to make no comment further to the outline application and the associated Flood Risk Assessment.
- 5.9 Huntingdonshire District Council's (HDC's), Trees & Landscapes No objections subject to conditions
- 5.10 HDC's Policy and Enabling Officer (Affordable Housing) No objections.
- 5.11 HDC's Urban Design No objections subject to conditions

5.12 HDC's Open Spaces - No objections, commented " the green space has not changed therefore I have no further comments to make". Previous comments on the space were - Based on 25 dwellings of unknown size properties, this development requires in the region of 1100m2 of POS including 450m2 of continuous green space where children can play. No objections.

6. REPRESENTATIONS

- 6.1 A total of 39 consultation letters were sent. Representations have been received from 18 properties (some on multiple occasions) objecting to the proposals. The comments are summarised below and available on public access:
 - Impacts on bats no bat boxes provided.
 - Highway safety for vehicles and pedestrians identified and loss of parking along Pingle Bank.
 - Lack of information in regards to the telegraph pole will it be moved?
 - No details provided of dropped kerbs for existing accesses
 - Narrowing of Pingle Bank will cause further issues with access for emergency vehicles and will encourage vehicles to park on the footpath.
 - Additional congestion from the increase in vehicles especially when the railway crossing is down vehicles back up along Station Road.
 - Noise impacts from the airfield, no mitigation for existing or proposed occupiers.
 - Lack of parking within the development.
 - Concerns over further damage to the highway.
 - Impacts on residential amenity with loss of privacy from overlooking.
 - Lack of street lighting.
 - Poor design of dwellings out of character with the rest of the village.
- 6.2 The above representations are a summary of the comments that have been received and are addressed within the report. Full details of the representations can be inspected via the comments section on the public access application file.

7. ASSESSMENT

7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.

- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (section 38(6)) and the Town and Country Planning Act 1990 (section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2018). The development plan is defined in section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".
- 7.3 In Huntingdonshire the Development Plan consists of:
 - Huntingdonshire's Local Plan to 2036 (2019)
 - Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021)
 - St Neots Neighbourhood Plan 2014-2029
 - Godmanchester Neighbourhood Plan (2017)
 - Houghton and Wyton Neighbourhood Plan (2018)
 - Huntingdon Neighbourhood Plan (2019)
 - Bury Village Neighbourhood Plan 2019 2036 (2021)
 - Buckden Neighbourhood Development Plan 2020 2036 (2021)
 - Grafham and Ellington Neighbourhood Plan (2022)
- 7.4 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of land: Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, para 2 confirms that it is a material consideration and significant weight is given to this in determining applications.
- 7.5 The main issues to consider in assessing this application are whether there is any conflict with Development Plan policies. If there is any conflict, whether the application can be considered to be in accordance with the Development Plan when taken as a whole. If the application is not in accordance with the Development Plan, whether there are any material considerations, including emerging policies in the Local Plan to 2036 and the NPPF, which indicate that planning permission should be granted. With this in mind the report addresses the principal, important and controversial issues which are in this case:
 - The Principle of the Development
 - The Impact upon the Character and Appearance of the area (Access, Appearance, Landscaping, Layout and Scale)
 - Housing Mix and Affordable Housing
 - Impact upon Residential Amenity

- Biodiversity and Trees
- Highway safety, Car and Cycle Parking
- Other Matters

The Principle of the Development

- 7.6 The principle of residential development at the site has already been established through the granting of outline permission 17/00101/OUT which granted planning permission for 25 residential dwellings in this location. This application for reserved matters pursuant to the outline application seeks approval for the Access, Appearance, Landscaping, Layout and Scale of the development.
- 7.7 The principle of the development has therefore been established and the proposal is considered to be acceptable in principle.

Impact upon Character and Appearance of the Area - (Access, Appearance, Layout, Scale and Landscaping)

- 7.8 The site located to the southeast of the village on the western side of Pingle Bank and is currently occupied by two buildings associated with a former packing business, the remainder of the site is used for open pallet storage and access. Existing residential development exists to the north of the site with Pingle Bank to the east, the remaining two boundaries to the south and west are open in character and abut neighbouring agricultural fields.
- 7.9 The immediate locality of the site is characterised by the existing two storey semi-detached dwellings with parking to the side or in front gardens off of the highway. The dwellings are finished in a mixture of materials of red or cream brick as well as cream render with pan tiled roofs.
- 7.10 Policy LP11 of the Local Plan to 2036 requires development to respond positively to its context. Policy LP12 requires new development to contribute positively to the area's character and identity and to successfully integrate with adjoining buildings.
- 7.11 Paragraph 130 of the NPPF 2021 states that planning policies and decisions should ensure that developments:
 - a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
 - b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
 - c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as

increased densities);

- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.
- 7.12 Paragraph 41 of the National Design Guide 2019 states that development should respond positively to the features of the site itself and the surrounding context, including layout, form, scale, appearance and local character.

Access

- 7.13 Access is defined in the Town and Country Planning (Development Management Procedure) (England) Order 2015 as "the means of accessibility to and within the site, for vehicles, cycles and pedestrians in terms of the positioning and treatment of access and circulation routes and how these fit into the surrounding access network".
- 7.14 The site is 0.998ha in size and there is open access to the site which extends the full length of the site. Parking for the dwellings of Pingle Bank is provided off road within the curtilage of the dwellings either to the side or in front, with unrestricted parking along Pingle Bank which is regularly used by residents and visitors.
- 7.15 The proposals seek to introduce two formal vehicular accesses to serve the dwellings from Pingle Bank with a number of new footpath improvements which will remove space for the existing on road parking that occurs currently by the creation of the footpath and crossings as well as removal of the grass verge in part along Station Road to create new footpaths and crossing points.
- 7.16 The installation of the footpath and crossings has been secured by the s106 attached to the Outline permission and condition 7 of the outline permission requires details of the footpath link and crossing to be assessed as part of this REM application. Following several revisions to the details submitted the improvements are considered to be acceptable in principle. The highway safety aspects of this part of the proposals are further discussed in following paragraphs.

- 7.17 Access to each dwelling is via driveways and these are considered to be acceptable in respect of width, depth and surfacing.
- 7.18 Details of cycle parking have not been provided, these should be covered and secure and sized to accommodate 1 bicycle per bedroom to accord with Local Plan Policy LP17. These details can be reasonably secured by a planning condition.
- 7.19 The Local Highways Authority has assessed the access and associated infrastructure proposals and has concluded they meet with technical standards, advising that the access roads where they meet Pingle Bank are of a sufficient width to cater for the new dwellings and the vehicle-to-vehicle splays indicated are suitable given the posted speed of the Pingle Bank and that the prosed works to Pingle Bank indicate an improvement to existing highway width equal to or better than existing road widths.
- 7.20 In summary, the access proposals are appropriate for the nature and scale of the development and will provide safe and effective access for future occupiers in accordance with Local Plan policy LP16.

Appearance

- 7.21 Appearance is defined in the Town and Country Planning (Development Management Procedure) (England) Order 2015 as "the aspects of a building or place within the development which determine the visual impression the building or place makes, including the external built form of the development, its architecture, materials, decoration, lighting, colour and texture".
- 7.22 In terms of the detailed design of the scheme, HDC's Urban Design team has assessed the proposal and provided detailed suggestions which the applicant accepted and has subsequently amended the overall proposal, to result in a design that the officers are generally satisfied with.
- 7.23 The proposed dwellings have simple detailing with soldier course window heads at ground floor, pitched roof canopies and chimneys to reflect the similar simple detailing of existing dwellings to the north as well as Flat roof porch canopies which are considered to reflect the arrangement of some of the adjacent dwellings along Pingle Bank.
- 7.24 The submitted plans identify the proposed materials palette and the distribution of materials across the site and is considered to be acceptable in principle. Specific details of finishing materials for all buildings can be secured by condition as well as details of the colour and location of flues/extracts/vents and meter boxes

- and architectural details in accordance with Policy LP12 and LP12 of the Local Plan.
- 7.25 Notwithstanding the above, the overall design of the proposals is considered to make a positive visual contribution to the character of Holme and are considered to be acceptable in this regard meeting the aims and objectives of Policies LP11 and LP12 of the Local Plan to 2036. Whilst it is noted that some objections have been received regarding the development conflicting with the character of the area, it is considered that this particular area doesn't confirm to any strict character, featuring a mixture of frontage and backland developments. In this regard, Officers consider that the development would not directly conflict in character terms.

Layout

- 7.26 Layout is defined in the Town and Country Planning (Development Management Procedure) (England) Order 2015 as "the way in which buildings, routes and open spaces within the development are provided, situated and orientated in relation to each other and to buildings and spaces outside the development".
- 7.27 The site layout plan submitted broadly follows the site layout principles established on the illustrative Block Plan submitted with the outline application in terms of a shared surface loop road. Units fronting Pingle Bank to the east are to correspond with the established building line of units to the north. Dwellings backing onto the northern boundary with gardens abutting rear garden boundaries of Nos. 4a, 6 and 6a Pingle Bank. The southern and western boundaries comprise outward facing dwellings and a perimeter block within the centre of the site with units arranged back-to-back to secure rear gardens.
- 7.28 The proposed site layout has been amended to incorporate revisions requested by HDC Urban Design and Landscapes officers and is considered to respond broadly to the adjacent residential development. The shared surface loop road has been increased to 5.5m with 0.5m service strips either side and is supported in design terms and will connect to the two access points and associated footpath to provide appropriate connectivity.
- 7.29 In respect of the density of development, the proposals are not regarded as over intensive development, representing a relatively low density of development.
- 7.30 The NPPF seeks to encourage higher densities of development, it is also noted that the NPPF advises that it depends on the appropriateness of achieving high densities on a site-by-site basis. Site specific constraints are taken into account through the overall layout of the site. In this respect, given the sites

landscape sensitivity due to its location (next to the open countryside) alongside requirements for open space, a higher density of development would not be suitable. The lower density has allowed for the provision of good levels of open space and the opportunity for effective boundary treatments and landscape buffering, particularly upon the sensitive southern and western edge of the site. This is consistent with the density transition as set out on page 39 of the Huntingdonshire Design Guide page 2017.

- 7.31 Vehicular access is to be provided from two new vehicular access points from Pingle Bank with new footpath connections which will provide connectivity to the existing development.
- 7.32 The proposed layout facilitates pedestrian and cycle movements and structural landscaping with single drives measuring 3m wide each and the majority of properties include a footpath to the side, to allow bins and bikes to be manoeuvred past parked cars and to allow both driver and passenger doors to be opened fully. All of the drives measure a minimum 10m depth to accommodate tandem parking for larger family vehicles.
- 7.33 Officers are satisfied that the 5.5m shared surface would allow occasional on street visitor parking to be accommodated in front of the proposed dwellings.
- 7.34 Open Space The OPP required in the region of 1180sqm of informal green space, the proposals are considered to meet this requirement and are in accordance with the Developer Contributions SPD and page 105 of the HDC Design Guide SPD 2017.
- 7.35 The layout of the development is considered to respond to the constraints and opportunities that the site presents and is considered to be acceptable meeting the aims and objectives of Policies LP11 and LP12.

Scale

- 7.36 Scale is defined in the Town and Country Planning (Development Management Procedure) (England) Order 2015 as "the height, width and length of each building proposed within the development in relation to its surroundings".
- 7.37 The development comprises two storey dwellings which is considered to be in keeping with the surrounding form of development and would not result in harm to the character of the area.

Landscaping

7.38 Landscaping is defined in the Town and Country Planning (Development Management Procedure) (England) Order 2015 as

"the treatment of land (other than buildings) for the purpose of enhancing or protecting the amenities of the site and the area in which it is situated and includes: (a) screening by fences, walls or other means; (b) the planting of trees, hedges, shrubs or grass; (c) the formation of banks, terraces or other earthworks; (d) the laying out or provision of gardens, courts, squares, water features, sculpture or public art; and (e) the provision of other amenity features".

- 7.39 The application is supported by a Landscaping scheme, including details of planting proposed and existing planting to be retained as well as proposed boundary treatments, and hard surface treatments. The landscape proposals are considered to integrate the development well with is surroundings, whilst also providing a clear definition between the public and private spaces within the site. Front gardens are defined by shrub planting with some tree planting in some verges and street corners and between parking spaces.
- 7.40 The proposals have been fully assessed in consultation with HDC's Landscape and Open Space Officers, who are generally supportive of the proposals, subject to further details as follows;
 - Additional low level shrub planting needed between open space and visitor parking spots, to ensure that the open space is not used for ad hoc parking.
 - Additional planting required to the western boundary of plot 14 to soften the appearance of the wall and car parking to the open space
 - Additional groups of trees required to prevent parking on verges.
 - All public facing garden boundaries should be of brick wall construct with their appearance softened by planting (hedge, wall shrubs and/or climbers) This applies to the garden boundaries of plots 1, 4, 5, 14, 15 and 17.
 - Confirmation of the management and maintenance arrangements for the above

The above elements can be reasonably secured by a condition attached to the decision notice.

7.41 In conclusion, the proposed details are considered to be in accordance with the design principles established at OPP stage and it is deemed that the proposal will not have a significant or demonstrable adverse impact upon the character and appearance of the area, in accordance with the aims and objectives of Paragraph 130 of the NPPF (2021), Policies LP11, LP12 of Huntingdonshire's Local Plan to 2036, Paragraph 41 of the National Design Guide 2019 and the Huntingdonshire District Design Guide 2017.

Housing Mix and Affordable Housing

- 7.42 Policy LP24 of the Local Plan to 2036 requires a proposal which includes housing development to provide a range of affordable housing types, sizes and tenures. These should be appropriate to meet the requirements of the local community taking into account the latest evidence from the Housing Register, the Cambridge sub-region Strategic Housing Market Assessment and other local sources.
- 7.43 Policy LP25 of the Local Plan to 2036 outlines that a proposal for major scale development that includes housing will be supported where it provides a mix of sizes, types and tenures that help achieve sustainable, inclusive and mixed communities.
- 7.44 The Cambridge sub-region Strategic Housing Market Assessment (SHMA) (2013) provides guidance on the mix of housing required for Huntingdonshire up to 2031. This gives broad ranges reflecting the variety of properties within each bedroom category. This indicates a requirement for the following mix: up to 4% 1-bedroom homes, 16-42% 2 bedroom homes, 26-60% 3 bedroom homes and up to 30% 4 or more bedroom homes.
- 7.45 The associated S106 requires the proposed development to provide at least 40% of the 25 dwellings to be affordable. The proposals meet this requirement in that 10 of the dwellings will be affordable housing and 3 of which will be shared ownership, making a valuable contribution to the affordable housing needs of the district.
- 7.46 The mix and size of dwellings have been informed by the local needs evidence, the requirements of Policy LP25 and following discussions with the Council's Policy and Enabling Officer (Affordable Housing).
- 7.47 The mix of housing is as follows:

Affordable rent (7 dwellings)				
Size	Number	Plots		
2 Bed	4	7, 8, 9,10		
3 Bed	2	22, 23		
4 Bed	1	15		
Shared Ownership (3 dwellings)				
Size	Number	Plots		
2 Bed	1	4		
3 Bed	2	24, 25		
Open Market (15 dwellings)				
Size	Number	Plots		

2 Bed	5	3,11,12,13,14
3 Bed	8	1,2,5,6,18,19,20,21
4 Bed	2	16,17

- 7.48 The requirements within policy LP25 of Huntingdonshire's Local Plan to 2036 relating to accessible and adaptable homes are applicable to all new dwellings. This states that all dwellings should meet Building Regulation requirement M4(2) 'accessible and adaptable dwellings'. These include design features that enable mainstream housing to be flexible enough to meet the current and future needs of most households, including in particular older people and those with some disabilities, and also families with young children.
- 7.49 Officers consider the quantum of affordable homes, tenure and mix meets the aims of the SPD and Policy LP24 of Huntingdonshire's Local Plan to 2036. The mix proposed in this scheme complies with the mix sought for Huntingdonshire in the Cambridge Sub-Regional SHMA and will help to achieve a sustainable, inclusive and mixed community in this locality.
- 7.50 Overall, it is considered that the proposed scheme accords with the Housing Needs of Specific Groups (October 2021) and the recommendations for Huntingdonshire contained within the Cambridgeshire sub-region Strategic Housing Market Assessment (2013). The proposal is therefore considered to accord with Policies LP24 and LP25 of the Local Plan to 2036.

Residential Amenity

- 7.51 Policy LP14 of the Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 7.52 Paragraph 130 (f) of the NPPF 2021 states that decisions should ensure that developments should create places with a high standard of amenity for existing and future users.
- 7.53 Officers have fully assessed the impact of the development with regards to amenity, noise and air quality impacts, including matters of overlooking, overshadowing, overbearing impact and loss of privacy relating to existing residents.

Amenity Impacts

7.54 As mentioned earlier in this report, the detailed layout showing the plot orientations demonstrates a scheme at a low density. The proposal also includes a large area of open space as shown on the submitted plans.

- 7.55 In detail the northern extent of the site borders onto the rear gardens of a number of dwellings on Pingle Bank in particular numbers 4a, 6 and 6a Pingle Bank. The back to back distances (rear elevations to rear elevations) achieved would be between Plots 8-14 to No. 4a is approximately 37m, to No. 6a is approximately 64.1m and to No. 6 is approximately 76m.
- 7.56 It is considered that given the scale and orientation of the proposed residential units, as well as the existing and proposed boundary treatments and landscaping between the proposed dwellings and the neighbouring properties, the proposals would not lead to any significant impacts in regards to overlooking or overshadowing impacts. Given the density of the site and the positioning of the proposed residential units, it is not likely that the development will have an unduly overbearing detrimental impact upon the residential amenity of existing neighbouring occupiers and the proposed new occupiers would have sufficient private amenity space in the form of private rear gardens for the dwellings.
- 7.57 No details of external lighting have been provided. These details can be reasonably secured by a planning condition.

Noise Impacts

- 7.58 It is acknowledged that there will be some noise impacts during the construction phases of the development and as such a Construction Environmental Management Plan is required to be submitted, this is recommended to be secured by a condition in accordance with policy LP14 of the Local Plan.
- 7.59 It is also noted that local concerns have been raised in regards to the location and the proximity of the airfield, including those by the airfield operators themselves, Aerolease Ltd. Whilst the Environmental Health team haven't formally responded to this latest application, they did consider noise impacts under the Outline application and concluded that they did 'not have any concerns over noise (or air quality) in this instance' (see comments under outline dated 15 August 2017).
- 7.60 The Civil Aviation Authority would ultimately look into any issues around noise emanating from the airfield operations and may review flight paths etc. in order to alleviate adverse impacts. Given the existence of dwellings in the immediate vicinity, it is assumed that noise issues are not currently prevalent or are being managed appropriately. That the proposed dwellings would be c.70m closer to the airfield than existing properties adjacent is not significant in terms of noise impacts.
- 7.61 Notwithstanding this, it is expected that under modern housing design standards, fenestration would likely be double glazed which would form some defence. It is also noted that dwellings

facing the southern, western and eastern boundaries have rearward gardens and therefore the dwellings themselves will provide some noise defence to their associated rear gardens, albeit only where that noise emanates at ground level and not from any overhead flights.

7.62 In summary, the proposal would accord with the NPPF, Policy LP14 of Huntingdonshire's Local Plan to 2036 and the Huntingdonshire Design Guide 2017 in respect of residential amenity protection.

Biodiversity and Trees

- 7.63 Policy LP30 of the Local Plan to 2036 states that a proposal will be required to ensure that no net loss in biodiversity and provide a net gain where possible, through planned retention, enhancement and creation of habitats and wildlife features, appropriate to the scale, type and location of development. Policy LP31 states that proposals are required to demonstrated that the potential for adverse impacts on trees, woodland, hedges and hedgerows has been investigated.
- 7.64 The proposals seek to remove the existing planting to the northern boundary to the site which comprises some conifer and native hedging. The proposals will create additional planting within the landscape buffer and open space to the south and west which containing native species of planting will soften the development. The application is supported by a landscape specification document by Skilled Ecology dated 18 May 2021.
- 7.65 The measures contained within the landscape specifications PEA at outline stage. Officers are content that the proposed layout and landscaping details would result in no net loss in biodiversity and a net gain could be achieved.
- 7.66 The proposal is therefore considered to accord with the NPPF, and policies LP30 and LP31 of the Huntingdonshire's Local Plan to 2036 in respect of biodiversity and the impact on trees, subject to the imposition of conditions.

Highway safety, Car and Cycle Parking

- 7.67 The layout is detailed as a standard conventional layout with shared surface elements, both of which are in line with nationally accepted practices and are in accordance with the principles set out in Manual for Streets 1 and 2. The proposal also accords with Ministerial advice which states that shared space schemes are acceptable where 'traffic volume and speeds will be low, such as within small housing schemes, or those parts of a larger schemes designed as mews or cul-de-sacs.'
- 7.68 Car parking is proposed by way of on plot car parking to the side of dwellings. Two car parking spaces of proposed per dwelling

and some visitor parking can be achieved within the internal loop road. Secure and covered cycle parking is to be provided in accordance with the requirements of the Huntingdonshire Design Guide (2017). Secure cycle storage can be secured by a condition attached to the decision notice.

- 7.69 The road layout submitted broadly follows the site layout principles established on the illustrative Block Plan submitted with the outline application in terms of a shared surface loop road. Vehicular access is to be provided from two new vehicular access points from Pingle Bank with new footpath connections.
- 7.70 The proposals have been assessed in consultation with CCC Highways who have confirmed that the proposals as submitted are acceptable, subject to conditions as summarised above in the comments section.
- 7.71 The proposed layout facilitates pedestrian and cycle movements and structural landscaping with single drives measuring 3m wide each and the majority include a footpath to the side to allows bins and bikes to be manoeuvred past parked cars and to allow both driver and passenger doors to be opened fully and bins and bikes to be moved past the parked cars. All of the drives measure a minimum 10m depth to accommodate tandem parking for larger family vehicles. The provision of and retention of the parking spaces, visibility splays and surfacing of roads and footways to a binder course can be secured by a condition attached to the decision notice. It is considered to be appropriate and necessary to secure the provision of these prior to the occupation of the dwellings.
- 7.72 Officers are satisfied that the 5.5m shared surface would allow occasional on street visitor parking to be accommodated in front of the proposed dwellings.
- 7.73 The proposals have been assessed in consultation with CCC Highways who have stated that the design of the development does not meet that required for adoption. As such, details of the long-term management and maintenance of the roads will be required to be secured by planning condition, to ensure that this infrastructure is maintained appropriately for use by future occupiers.

In summary, the arrangement of streets and driveways is acceptable.

Footpath and Pedestrian Crossings

7.74 It is noted that there is local concern regarding the proposed changes along Pingle Bank, through the introduction of 1.8m wide footpaths - specifically with regard to the proposals falling short of the guidance set out within the Huntingdonshire Design

Guide, which sets out an aim of 2m wide footpaths. In response to the concerns raised, Officers would like to make the following observations:

- 7.75 As set out on page 57 of the HDC Design Guide (DG) 'Each street type has a table with additional information which gives recommended overall dimensions for all new highways. Early engagement with Cambridgeshire County Council, as highway authority, is encouraged with regards to the design of all street types, highway adoption and parking solutions'.
- 7.76 The minimum 2m footpath widths in the DG are derived from Manual for Streets para 6.3.22 which states 'There is no maximum width for footways. In lightly used streets (such as those with a purely residential function), the minimum unobstructed width for pedestrians should generally be 2m. Additional width should be considered between the footway and a heavily used carriageway, or adjacent to gathering places, such as schools and shops'.
- 7.77 The key point is that these are general recommendations and whilst 2m wide footpaths are ideal, in reality these paths are likely to see low pedestrian footfall from the development and existing adjacent units. Furthermore, there doesn't appear to be sufficient space with the adjacent swale along Pingle Bank to increase the paths much further.
- 7.78 It's also worth noting that the Department of Transport Inclusive Mobility - A guide to Best Practice on Access to Pedestrian and Transport Infrastructure Dec 2021 Section 4.2 states 'Footways and footpaths should be made as wide as is practicable, but under normal circumstances, a width of 2000mm is the minimum that should be provided, as this allows enough space for two wheelchair users to pass, even if they are using larger electric mobility scooters. If this is not feasible due to physical constraints, then a minimum width of 1500mm could be regarded as the minimum acceptable under most circumstances, as this should enable a wheelchair user and a walker to pass each other. Where there is an obstacle, such as lamp columns, signposts or electric vehicle charging points, the absolute minimum width should be 1000mm, but the maximum length of such a restricted space should be 6 metres.
- 7.79 The proposed highway improvement scheme appears compliant with this guidance given the physical constraints of the swale.
- 7.80 The Local Highways Authority has assessed the latest highways arrangement plans and have concluded that they are acceptable in design terms, equal to or better than the existing highway arrangement, with crossing points suitable for the nature of the highway and numbers of pedestrians likely to use them. It is concluded that the arrangement will not compromise the safety

- or accessibility of users. Whilst concerns have been noted, Officers do not have sufficient technical evidence to indicate that a refusal of the scheme in highway grounds would be warranted.
- 7.81 The proposal is therefore considered to meet the requirements of Policies LP16 and LP17 of Huntingdonshire's Local Plan to 2036 and Section 9 of the National Planning Policy Framework 2021 and Huntingdonshire's Design Guide 2017.

Other Matters

Water Efficiency

7.82 Policy LP12 of the Local Plan to 2036 states that new dwellings must comply with the optional Building Regulation requirement for water efficiency set out in Approved Document G of the Building Regulations. A condition could be attached to any approval decision to ensure compliance with the above.

Accessible and Adaptable Homes

7.83 Policy LP25 of the Local Plan states that proposals for new housing will be supported where they meet the optional Building Regulation requirement M4(2) 'accessible and adaptable homes' unless it can be demonstrated that site specific factors make this impractical or unviable. A condition could be attached to any approval decision to ensure compliance with the above.

Fire and Rescue

7.84 Cambridgeshire Fire and Rescue Service require the provision of fire hydrants; these could be secured via a condition attached to the decision notice.

Community Infrastructure Levy (CIL):

7.85 The development will be CIL liable in accordance with the Council's adopted charging schedule; CIL payments will cover footpaths and access, health, community facilities, libraries and lifelong learning and education.

Environment Impact Assessment (EIA):

7.86 According to the Regulations and Planning Practice Guidance (PPG), 'Screening' is the procedure used to determine if a proposed development is likely to have significant effects on the environment.

- 7.87 It is for the Local Planning Authority to determine whether a development is of a type listed in Schedule 1 or Schedule 2 of the Town and Country Planning (Environmental Impact Assessment) Regulations 2017. The PPG sets out the criteria and thresholds representing 'exclusion thresholds' in Schedule 2 of the Regulations, below which an Environmental Impact Assessment does not need to be considered (subject to the proposal not being in a 'sensitive area'). It also provides indicative criteria and thresholds to help to determine whether significant effects are likely.
- 7.88 Under Schedule 2 the proposal is considered to comprise an Urban Development Project (development type 10b in the PPG Annex). Schedule 2 sets out the assessment criteria for these types of development as follows:
 - (i) includes more than 1 hectare of urban development which is not dwellinghouse development; or
 - (ii) The development includes more than 150 dwellings; or
 - (iii) The overall area of the development exceeds 5 hectares.
- 7.89 The overall site area is 0.998ha and fewer than 150 dwellings are proposed. The development therefore falls below the thresholds set out in the assessment criteria in Schedule 2. An EIA screening is therefore not necessary.

Resident comments

7.90 Whilst most residents' comments have been addressed in the above sections, the following matters also require attention;

Location of telegraph pole

7.91 One resident has raised concerns regarding the possible relocation of an existing telegraph pole. This mater would be dealt with outside of the planning system and would be a matter for the developer and the communications operator to resolve and is not a material planning matter.

Installation of dropped kerbs to existing residences

7.92 The development would not be responsible for delivery of further dropped kerbs outside of the development area, unless the LHA required this in order to mitigate the impacts of the development. No such request has been made and it would therefore not meet the tests of planning conditions/ obligations to seek this infrastructure improvement.

Conclusion

7.93 The principle of development on this site for 25 dwellings was established at outline stage.

- 7.94 This application deals with the details of access, appearance, layout, landscaping and scale of the site granted by the outline consent. These details have been found to be satisfactory with regard to the appearance, layout, landscaping and scale and will provide a good quality residential environment whilst avoiding unacceptable detrimental impacts upon the amenity of the existing adjacent and proposed occupants.
- 7.95 The proposals are considered to respond to the opportunities and constraints of the site and relevant national and local planning policies and are acceptable in terms of access highway safety.
- 7.96 Having regard to all relevant material considerations, it is recommended that approval be granted for the reserved matters which comprise access, appearance, layout, scale and landscaping subject to the imposition of appropriate conditions.

8. RECOMMENDATION - APPROVAL subject to conditions to include the following

- Approved Plans
- Architectural details
- Materials
- Cycle Storage details
- Provision and retention of parking spaces prior to occupation
- Boundary treatments details for plots for plots 1, 4, 5, 14,
 15 and 17 and provision prior to occupation
- Provision of visibility splays prior to occupation and retention free from obstruction
- Provision of future management and maintenance of any unadopted streets
- Surfacing of roads and footways to binder course prior to occupation
- Water efficiency
- Soft Landscaping details in accordance with Planting schedule
- External lighting details for the whole site
- Details of any noise attenuation required
- Fire Hydrants
- Tree Protection
- Ecology and biodiversity mitigation and enhancement measures

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs

CONTACT OFFICER:

Enquiries about this report to **Debra Bell - Senior Development**Management Officer <u>-debra.bell@huntingdonshire.gov.uk</u>

HOLME PARISH COUNCIL

Parish Clerk: Mrs. J Osborn

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Holme

Peterborough

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28 July 2020

Dear Ms Bell

20/00923/REM

Reserved matters pertaining to development of 25 homes, Pingle Bank, Holme.

The Parish Council has met to discuss this application and at the meeting several members of the public voiced their opinions. I have also received numerous comments, written, emailed, by telephone and verbally and a document containing the points raised is attached, grouped into various headings as follows:

- 1. Footpath along east side of Pingle Bank.
- 2. The development
- 3. Junction of Pingle Bank and Station Road
- 4. Pedestrian crossing across B660/Station Road
- 5. Co-ordination, Ecological, Contamination, logistical matters.

I will summarise below the main arguments but please refer to the document attached for more detail.

1. **The footpath**, whilst fundamental for the development, may mean loss of amenity along Pingle Bank (parking spaces) and this would need to be addressed as part of the plan as those who park there, and visitors, have no other option.

The installation of the 1.8m footpath may mean that the road, already narrow, currently 8m in places, would become too narrow for larger vehicles,

waste collection, farm traffic etc. and fire appliances (bearing in mind that this is the main road to the Airport, so there is a higher risk of fire than normal).

The crossing over the southern end of Pingle Bank needs to be well defined, ideally zebra marked and lit, and not compromising the driveway where it has been drawn on the plan.

- 2. **The development**. Comments range from lack of adequate car parking to the uninspiring design, inadequate spacing of homes, very narrow spine road and nowhere to store bins and bicycles. Screening is sparse and should be revisited. The open space has no dimensions is this area appropriate for a development of 25 homes?
- 3. Junction of Pingle Bank and Station Road. This is a Y shaped junction on a corner of a busy road, B660. The bend in the B660 is blind in both directions. The proposal shows a dropped kerb crossing on the curve which is unacceptable under Dept. of Transport recommendations and the crossing point should be further south along Pingle Bank and clearly marked with a zebra or similar. A central refuge may also be appropriate. The Speed Indicator device owned by the Council records some very fast speeds in the area, up to 88mph has been shown. The V85 speed percentile is currently 34mph.
- 4. **Pedestrian Crossing over B660 Station Road**. This is required to link the Pingle Bank footpath with the Station Road existing footway which is on the northern side of Station Road.

The proposal is for a dropped kerb approximately 30m from the apex of Pingle Bank corner. This proposal is entirely unacceptable under Dept. of Transport guidelines as it is too close for vehicles to stop even if they are travelling at the legal speed limit. As above, most of them are travelling much faster.

The Council wishes to <u>object most strongly</u> to this proposal, and demands the re-siting of the crossing point to be compliant with DoT rules, a minimum of 40m and preferably more than 48m away from the bend.

The crossing point is shown as 2 dropped kerbs. Even if the crossing were to be moved away from the bend the crossing needs to be a signified and lit crossing such as a pelican or puffin crossing with good advance signage and some street lighting would be required (as there is none).

5. **Other matters** are self-explanatory. Could an additional bat survey be requested as there is from local knowledge current bat activity. It would be

helpful to co-ordinate the crossing proposal with that shown in current application 20/00989/OUT.

The Parish Council, at the meeting on 21 July voted unanimously to **recommend Refusal** of this application, taking into account all the items mentioned.

The Council and parishioners look forward to being consulted on a new or amended application taking into account the comments made above and in the document attached. It would be helpful to have a drawing of any revised proposals with measurements and dimensions added please, to show the exact positioning of the crossing points and footpath.

Yours sincerely

Mrs. J Osborn Clerk to Holme Parish Council Holme Parish Council

Planning application 20/00923/REM

Points made at public consultation and during Parish Council meeting 21 July 2020

Footpath along Pingle Bank East side – whilst a footpath is absolutely necessary for road safety it would mean removing the existing 3/4 parking spaces which are used daily. What alternative street parking is to be provided for those who have no or insufficient off street parking on Pingle Bank?

The crossing point over from the proposed estate to the proposed new footpath on the east side of Pingle Bank should be a zebra crossing to allow children going to school the confidence that vehicles are supposed to stop.

The proposed position of the dropped kerb at the estate end of Pingle Bank is shown as in someone's driveway and it needs to be repositioned 2 or 3 metres further south.

At any time of day there is considerable parking on both sides of Pingle Bank by current residents and visitors/tradesmen. The road is already congested and narrow and introducing a footpath would cause issues of its own. The road is not a quiet back road but has a lot of traffic using it even before any more traffic is introduced from the new homes.

Because of the number of cars which park along Pingle Bank which would lose their existing space and to prevent blocking the road, residents will most likely park on the footpath - rendering it useless for the disabled and those using prams and pushchairs.

Dropped kerb and access will additionally need to be provided for the driveway to numbers 9-15 Pingle Bank (access between numbers 3 and 5).

The road is narrow (the topographical survey shows the road to be approx. 8m widening to 12m maximum) and if the installation of a footpath of 1.8m width caused carriageway width to be further restricted then it could cause difficulties for farm traffic, lorries, buses and emergency vehicles as there are always parked cars to negotiate. The school bus uses this route twice a day although does not stop here.

The existing 30mph limit should be taken down further south along Pingle Bank – perhaps as far as the bridge - to give vehicles a chance to slow down to 30mph before arriving at the southern entry/exit to the development.

This is a through route to Peterborough Business Airport which is quite a busy commercial light aircraft airport as well as a flying club offering lessons etc.

The Development

Is the spine road to be a one way road as the width of the road is only 3.10 m as shown? This will need to be cleared with the Fire Officer. This width is too narrow for 2 cars to pass.

Visitors' parking spaces on the site are insufficient for the number of homes and disabled spaces are not shown.

Are vehicles in each household going to be somehow limited to numbers that can park on each plot? How? If not, where will the overflow park as the road is too narrow and Pingle bank will be full?

Landscaping - Noise and artificial light screening. Currently the onion sheds provide some screening from the view and noise of the airfield (and lighting during operational hours). Many trees near to the boundary of the adjoining field have already been felled by the landowner leaving the whole area very open. The new homes will need some sort of screening to reduce noise and light disturbance from the airfield. This is part of the S106 agreement. The few trees to south and west shown on the Soft Landscaping schedule will not provide much protection and this needs to be revisited.

The house designs are uninspiring, the houses are cramped being less than the recommended minimum of 12m between frontages, and do not have sufficient parking provision for 2 cars per home as the driveways are narrow. This could lead to parking on the spine road and in the visitor places.

There do not appear to be any bin stores which will lead to wheelie bins (3 per household) being left in view which will be unsightly and cluttered. (This is already the case following development in Church St) and no garages/bicycle storage either.

No evidence of sustainability measures e.g. rainwater harvesting, solar panels, and ground source or air source heat pumps. It is assumed that the chimneys are drawn for appearance only and that the heating systems will not be oil fired (no mains gas).

*The plans and layout do not correspond in terms of the house types on individual plots. It is not clear exactly what is proposed. (*This has been raised with Ms Bell already)

Open Space Will this have a play area or be suitable for ball games? There is no play equipment in Holme at present. Measurements of this land are not shown. Fencing to keep animals (domestic or wild) out will be required. Maintenance of area and fencing needs to be discussed and arranged per the 106 agreement. Is it possible to take the opportunity to incorporate a larger area of land at this stage?

Junction Pingle Bank/Station Rd

The junction of Pingle bank and Station road is on a blind bend.

The B660 regularly takes traffic passing at high speeds, breaking the speed limit. Data from the Speed Indicator Device shows the average is about 35mph in the 30 zone at this point but speeds up to 85mph have been recorded.

Traffic volumes using the junction will increase by possibly 50 cars each way per day if each home has 2 vehicles. This would be a significant increase and could cause queueing when the crossing is closed (traffic frequently backs up to this junction) or vehicles trying to pull out into or turn in front of fast moving traffic. People may use the road down to Conington as a rat run going south which will have an adverse impact on Conington village.

The pedestrian crossing point on the corner needs to be very well marked – preferably by a zebra crossing and/or with a central refuge for pedestrian safety.

As combine harvesters and all sorts of large vehicles use this junction daily it would be better to stagger the crossing point back (southwards) away from the main road to allow for turning heavy vehicles.

The crossing point should not be on a curve.

Pedestrian crossing across B660/Station Rd

There are no measurements on the plan. The proposed crossing appears to be about 30m from the junction but this is too short a distance to comply with regulations on this busy road.

Type proposed – dropped kerbs only – this is not a proper pedestrian crossing and 2 dropped kerbs to mark this crossing point are not sufficiently safe along this fast road near a bend.

There is currently no street lighting in the area. Children going to and returning from Holme School or the bus stop for the school bus (at the Green on Station Rd) will use this crossing and in winter it will be dark at school going home time.

The crossing needs to be a Pelican or similar signalised crossing with warning signs in both directions.

As planned the crossing point is far too close to the bend. Drivers coming from the east would not be able to see pedestrians until last minute (at the apex of the bend) making it difficult for them to slow down in time. During the winter months the issues surrounding this crossing would be compounded by the dark and possibly bad weather.

This is a crazy scheme and the location of the dropped kerbs as proposed is a dangerous place to cross this busy road.

The crossing point and signalised crossing needs to be measured in compliance with the Dept of Transport rules set out in the Manual for Streets chapter 7.5.

Co-ordination with Old Coal Yard scheme

The scheme for the land off Pig and Whistle Yard (the Old Coal Yard) HDC ref 20/00989/OUT shows the crossing point over the B660 further west, on the western side of the access to that site. No crossing type has been shown. Similar comments have been made on that application i.e. that provision of a lit crossing **at the minimum** should be a condition attached to the development.

One suggestion would be to re-profile the road by purchasing part of the field and enhance visibility by removal/reduction of the hedge.

Another suggestion, made by the operator of the mobile post office van (which parks at the Green on Station Road and is acutely aware of the traffic passing at speed), would be to install a series of speed humps in the area.

Ecological Survey

At the time of the meeting 21 July 2020 a local resident pointed out the current existence of bats flying at dusk in and out of the area. A further bat survey should be requested as the survey carried out in June did not discover the bats.

There are yellowhammers, swallows and reed warblers using the site. The Ecological survey is disappointing.

Contamination Survey

Asbestos removal is a concern for local residents, some of whom have small children. Particular regard should be had for the prevailing wind conditions when the asbestos is removed, indeed the whole of the demolition is likely to cause significant nuisance to neighbouring properties and appropriate mitigation should be employed.

Logistics

If an agreement can be reached on all of the above it will be fundamental to provide the infrastructure (footpath, crossing points) before any building works start so that safety is assured **before** lorry movements associated with the building works begin. Furthermore all site deliveries will need to be made actually on site not in the road. This is covered in the S106.

Members of the District Council should view this road junction and critically examine the proposal to appreciate for themselves the dangers that such a proposal would potentially cause. This is not a crossing proposal as it stands. The provision of 2 dropped kerbs simply allows people to negotiate the kerb and does not help them to cross the road, nor does it make it safe – indeed it may lead them to think it is safe when it is not.

From: <u>Janice Osborn</u>

 To:
 Bell, Debra (Planning); DMAdmin

 Subject:
 20/00923/REM Pingle Bank

 Date:
 10 June 2021 10:04:08

Attachments: We sent you safe versions of your files.msq

Pingle Bank Reserved Matters letter 090621.pdf

Document A Pingle Bank 9.6.21.pdf

Holme SID Vehicle Data for CCC Document B.xlsx

Mimecast Attachment Protection has deemed this file to be safe, but always exercise caution when opening files.

Dear Ms Bell

Please see attached letter and 2 supporting documents which are the Parish Council's response to the revisions on the Reserved Matters application.

You will see that the Parish Councillors would like you to come to see the site and to meet them so that they can be assured that you completely understand the issues they are facing If you could give me a date and time I will facilitate this with a couple of Councillors.

Kind regards Janice Osborn Clerk to Holme Parish Council 01487 831451

Data Protection: Your name and email address and any other personal information you have provided will be stored by the Clerk for the purposes of dealing with your enquiry. They will be stored for future use by the Clerk. Your details will not be disclosed to any other person or organisation without your express permission and if this becomes necessary the Clerk will contact you for your consent. The Council's privacy policies can be viewed on our website: www.holmecambsparish.org

HOLME PARISH COUNCIL

Parish Clerk: Mrs. J Osborn

Home Farm 24 Church St

Holme

Peterborough

Cambs. PE7 3PB

Tel. No. 01487 831451 holmeparishclerk@gmail.com

10 June 2021

Dear Ms Bell

20/00923/REM - 25 homes, Pingle Bank, Holme - Reserved Matters

Holme Parish Council has discussed this application, and on 6 June a public consultation meeting was held. 4 residents were present.

A document (A) is attached which is a record of the points brought up and discussed at the meeting and should be read in conjunction with this letter.

On the whole the Councillors are disappointed with the reserved matters revised plans and I set out below why this is.

1) Footpath along Pingle Bank.

a. Chapter 3.3 of the Huntingdonshire Design Guide (HDG) sets out the minimum road and footpath requirements. Pingle Bank is a through road and a bus route and takes local traffic to Conington, through traffic to the A1 southbound, is used as a shortcut for people travelling north from the A1 towards Yaxley/Ramsey and is the route for traffic to the airfield/flying club as well as being used by farm machinery to work on adjoining fields. It is also a popular walking and cycling route for local people. It could be classified as a Secondary Route (HDG). As such the road width needs to be a minimum of 5.5 m and the footpath 2m. Even if it were classified as a Tertiary Route, the road width should be 4.8m and footpath 2m. The plans submitted show a non-

- compliant 1.8 m footpath width, and the existing road (in particular where it narrows just by the start of the development site) is simply too narrow along most of its length to accommodate both a satisfactory road width and a suitable footpath. Yet a footpath is important here to promote safety and wellbeing. A more creative approach has to be sought.
- b. There are currently roadside parking spaces along the east side of Pingle bank. The residents use these for parking and have done for many years and the road is indeed marked to show this as parking space. The fear is that all of these spaces will be lost to accommodate the proposed footpath, leaving residents and visitors nowhere to park. It is not safe to park on the busy Station Road/B660, and Pingle Bank further towards the south is too narrow and has deep ditches each side. 2 homes on Pingle bank (no 6 and Pingle Bank House) do not have any off road parking space at all to use. Currently 4 residents living on the east side of Pingle Bank need disabled parking. Many of the homes are owned by Chorus and they should be consulted as their tenants will be affected by the loss of amenity.
- c. The crossing point across Pingle Bank at the Station Rd end is not compliant with the Manual for Streets (MfS) Chapter 6.3.12 which requires that crossings are perpendicular to the road to be crossed – this should be moved further to the south.
- d. Please refer to document A for additional comments.

2) Pedestrian Crossing Point over Station Rd.

- a. Position: The crossing shown is far too close to the bend of Station Road. The MfS indicates at Chapter 7.5 that the stopping distance at 30mph is 40m (43m with bonnet length included). The crossing is situated 9.0 metres east from the edge of the driveway to the bungalow "Winsbury" according to a dimensioned plan from the developer I have been sent and the proposed site for the crossing point is therefore much less than 40m away from the apex of the bend. The crossing point is definitely not safe at this point and the Council objects strongly to this siting.
- b. Please refer to the Speed Indictor Device records submitted regularly to Cambs Highways (document B attached) which show that the V85 figure for this area of station road is 32mph – core data can be provided on demand. The stopping distance would therefore be more than 40m.

- c. Type: The crossing over this busy road (B660) which takes traffic from the A1 to Ramsey and beyond including a large proportion of HGVs carrying fruit and vegetables to/from the packing plants to the East as well as heavy local traffic needs to be properly signed and marked and at the very least a Belisha beacon marked zebra crossing is required, although a light controlled Pelican or Puffin would be the preferred and by far the safest option here. The Council understands that several solar solutions are available if no electricity can be provided. The priority here is to keep pedestrians safe, many of whom will be children. The HDG at point 4.1 (4) says that people should be put before traffic.
- d. Please refer to document A.

3) Design

- a. The Overall feeling is that the designs submitted for 3 different house types are too similar and there is not enough variety in the styles and little architectural merit in the proposal as it stands. Much as Councillors agree that the houses should blend in with the existing housing, it is nevertheless important to produce both a cohesive and an attractive design bearing in mind that the HDG states that "good design is an integral part of sustainable development". The houses basically all look the same and some more creative design is required here more detail in document A.
- b. There is little sense of place in this conventional gridiron layout and there are some specific issues with the designs covered in the attached document A regarding the public realm-facing fencing which should be revised to brick walls according to HDG 3.8; visitor parking spaces which have been reduced in number to 8 for 25 houses which is quite simply not enough; rear parking for plots 1, 4 &5 which is inconvenient for owners/tenants and may lead to parking in the street.
- c. Please refer to document A.

4) Ecology/Environmental Plans

a. The plans show a public open space, but it is not clear what this is to be for. The HDG says that (3.6) all public spaces should be defined and designed to fulfil specific roles and functions for a range of users. This plan shows a grass area which is only to

be cut once a year which may therefore not be suitable for children to play on and will then inevitably become contaminated by dogs. What use is envisaged, is any infrastructure to be provided (play surface or equipment, goal posts?) and what arrangements are envisaged for its maintenance?

- b. The Council welcomes the introduction of nesting bricks and such like for wildlife.
- c. How is noise nuisance from the airfield to be mitigated?

The Councillors would like to meet with you on site to help you to fully understand the issues they are facing with these proposals. Would you be able to contact me to fix an appointment, please.

The Council would also wish you to consult with the officer dealing with the Old Coal Yard application (20/989/OUT – Karina Adams) as a Pedestrian crossing over Station Road is also shown on that application and a joined up approach would be sensible when reaching a resolution to item 2 above.

Yours sincerely

Mrs. Janice Osborn Clerk to Holme Parish Council Points made at the public meeting

a. Footpath.

- i. Narrow Road cannot accommodate 1.8m footpath and still be a satisfactory Road width, it would reduce to 4.3m at the narrow end. This is contrary to the recommendations in the Huntingdonshire Design Guide.
- ii. The footpath should actually be 2m according to the Design Guide.
- iii. This is a bus route. 415 bus (Wednesdays only) would need to be able to get through and road should be 7m according to Design guide.
- iv. Access for emergency and farm vehicles, especially to airfield. (Fire risk)
- iv. Loss of amenity for homes without their own parking spaces and those using the roadside to park when visitinghomes along Pingle Bank. No suitable alternative parking places are available. At least 4 homes currently require disabled parking.
- v. Possibility of *adverse possession* being invoked people have parked here for years.
- vi. 2 homes on Pingle Bank do not actually have any spaces for off road parking. There is nowhere local for them to park other than on Pingle Bank.
- vii. The crossing point over the top of Pingle Bank is dangerous and far too close to Station Road, and also on a bend which is not acceptable according to the MfS. The crossing point must be perpendicular to the kerb, therefore further South, to be safe.
- viii. Possibility of rerouting footpath to the west via the Old Coal Yard site?

b. Pedestrian Crossing point, Station Road

2 issues- location and type.

Location

- i. Proximity to the bend. Visibility is compromised.
- ii. Fast road V85 is 32mph. (30mph limit). High speeds up to 80+ are recorded occasionally.
- iii. Health and safety audit should take place. If there were to be an accident here who would be responsible?

 Are Police highway safety people consulted?
- iv. Per *Manual for Streets* stopping distance is 40m from sight point and the crossing point should be far further west.
- v. Joined up approach with old Coal Yard scheme is desirable. **Type**
- vi. Any crossing **must** be prominently marked, signed and lit suggestion of solar Belisha beacons and zebra crossing, if not a

- full Pelican or Puffin crossing. Safety is paramount. Particularly when approaching from the East.
- vii. Traffic calming could be an option.
- viii. Pedestrian safety is paramount.

c. Ecology/Environment plan.

- i. Possibility of bins not being emptied because of access problems around new estate solve problems before they occur.
- ii. What is the grassland area for? It is not clear what use is intended. (Design Guide). If this is not a playing field then it will become a dog fouling area and this is not acceptable. If a play area is any equipment being provided?
- iii. Ball games against the wall of plot 14 could be undesirable.
- iv. Who is going to maintain this area and enforce the replacement of dead/dying plants and cut the grass and hedges etc.? Danger of this area becoming an eyesore if this agreement (with?) is not properly structured.
- v. Street lighting. None is shown. Is any intended? Dark skies are important here.

d. Design.

- i. It is difficult to appreciate designs on line drawings, colour would be helpful.
- ii. Layout of estate is unimaginative and in straight lines/grid iron pattern, old fashioned and promotes no sense of community or place.
- iii. Urban layout for a country village is not appropriate.
- iv. What is the purpose of the narrowing of the spine road outside plots 18 and 19 and if this is for speed control why is this not also employed outside plots 24 and 25?
- v. 3 homes have parking spaces at the rear which may encourage parking on Pingle Bank as these are not so convenient to use.
- vi. There are timber fences shown which should be brick walls (plots 1, 4, 5,14, 15, 17) (Design Guide) and the dividing fences at the road frontage are not needed and unsightly, as well as possibly impeding the view for turning/emerging vehicles.
- vii. Individual houses all look very similar. There needs to be a variety of styles, using features such as gables, dormers, porches and canopies to make them more interesting as well as some variations in materials, doors and windows to break up the sameness.
- viii. This is a lost opportunity for some good and creative design which could enhance this area.
- ix. Visitor Parking reduced to 8 not 12 spaces. More (6?) could be provided along the southern side of the spine road which would help accommodate extra vehicles. (expected 2 per house plus at least 3 in the bigger houses, maybe trailers and caravans as on Pingle bank and visitors, deliveries, tradesmen etc. Need to avoid people parking on the roadside and stopping through traffic i.e. bin lorry.
- x. Is this to be an adopted highway?

General points:

Noise from airfield – loss of buffer of the sheds which may make the noise level unacceptable both here and in the village. Mitigation?

To request meeting between planning officers for Old Coal Yard and Pingle Bank to ensure joined up approach to Crossing point and footpath.

To request meeting between HPC and planning officer/Members of DMC to show exactly the problem with the proposed crossing point.

Method of heating?

To consult Marge Beutell re bin emptying and how to avoid problems

Plan is wrong as marked Long Drove where it should be Station Rd

ECMain Line is not disused!

HOLME PARISH COUNCIL

Parish Clerk: Mrs. J Osborn

Home Farm 24 Church St

Holme

Peterborough

Cambs. PE7 3PB

Tel. No. 01487 831451 holmeparishclerk@gmail.com

28 June 2022

Dear Ms Bell

20/00923/REM – 25 homes, Pingle Bank, Holme – Reserved Matters/Footpath and Pedestrian Crossing layouts

All the Councillors at Holme Parish Council have seen these plans and I give below their response.

- 1) Footpath/Road along Pingle Bank.
 - a. As already stated in June 2021, the Huntingdonshire Design Guide (HDG) sets out the minimum road and footpath requirements. Pingle Bank could be classified as a Secondary Route. As such the road width needs to be a minimum of 5.5 m and the footpath 2m. Even if it were classified as a Tertiary Route, the road width should be 4.8m and footpath 2m. The new plans submitted still show a non-compliant 1.8 m footpath width, and the existing road (in particular where it narrows just by the start of the development site) is simply too narrow along most of its length to accommodate both a satisfactory road width and a suitable footpath. The new proposal does nothing to improve this and the proposal is still considered unsatisfactory, showing road widths of 4.8m and 5.3m with a footpath of 1.8m, all contrary to the HDG recommendations.
 - b. As a positive suggestion, could an alternative route for the footpath be considered, going behind the development to Station Road via the Old Coal Yard site? This has been

suggested before. Obviously the current developer may not have control of this land but it might be a solution.

c. There are currently roadside parking spaces along the east side of Pingle Bank. The residents use these for parking and have done for many years and the road is indeed marked to show this as parking space. These spaces will be lost to accommodate the proposed footpath, leaving residents and visitors nowhere to park and they will probably park on the footpath making it unsafe and useless for its intended pedestrian use. Alternatively they will have to park in the road exacerbating the narrowness of the road and potentially this is harmful in terms of access for larger emergency vehicles, oil lorries, refuse collection and farm traffic as well as making turning in/out of driveways more difficult for all properties.

Bearing in mind that this road is the main access road to Peterborough Business Airport from the B660 the road must be able to allow passage of fire appliances, ambulances etc. at all hours and pedestrian safety must be provided too. The proposal is still unacceptable in current form.

- 2) Pedestrian Crossing Point over Station Rd.
 - a. The crossing point in this new location is much better than before and is broadly acceptable. However the Council's view is that the crossing must be upgraded to a controlled crossing to make it safe to use, given the high speeds of traffic along this road and the relatively minimal visibility from Pingle Bank corner. Many of the pedestrians using this crossing will be children going to/from the primary school or to the bus stop for the secondary school in Sawtry on Short Drove. A Puffin or a Belisha controlled/marked crossing is required here.
 - b. Advance signage to alert drivers coming particularly from the level crossing direction is required, or drivers will unexpectedly come upon pedestrians in the road as they accelerate away from the corner.
- 3) Pedestrian Crossing point over Pingle Bank
 - a. This will only work if the hedge located to the right (towards the level crossing) (belonging to the homes on the corner, Chorus properties) is regularly cut back to enable traffic coming from the East to be seen

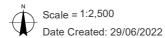
before people commit to cross. Is there some way of conditioning this? However the positioning is acceptable. The crossing point would also need to be clearly marked.

The response of the Highways authority is awaited with interest.

Yours sincerely

Mrs. Janice Osborn Clerk to Holme Parish Council

Development Management Committee

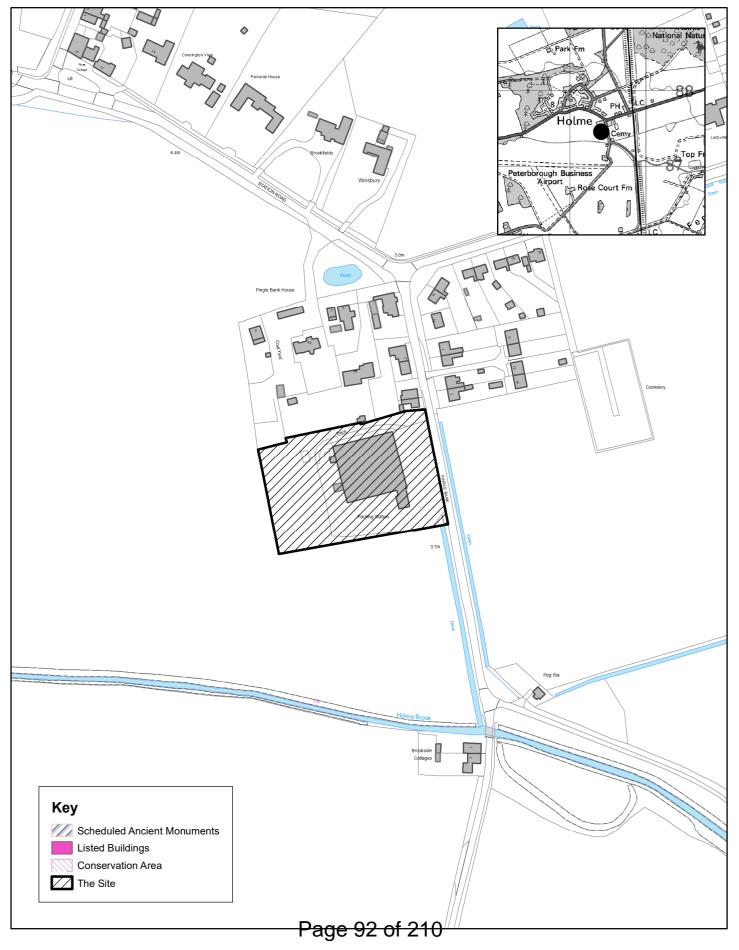


Application Ref:20/00923/REM

Location: Holme



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SCALE 1:100 @ A1

29/02/20

10/07/101/02











PROPOSED RESIDENTIAL DEVELOPMENT OFF PINGLE BANK, HOLME CAMBRIDGESHIRE

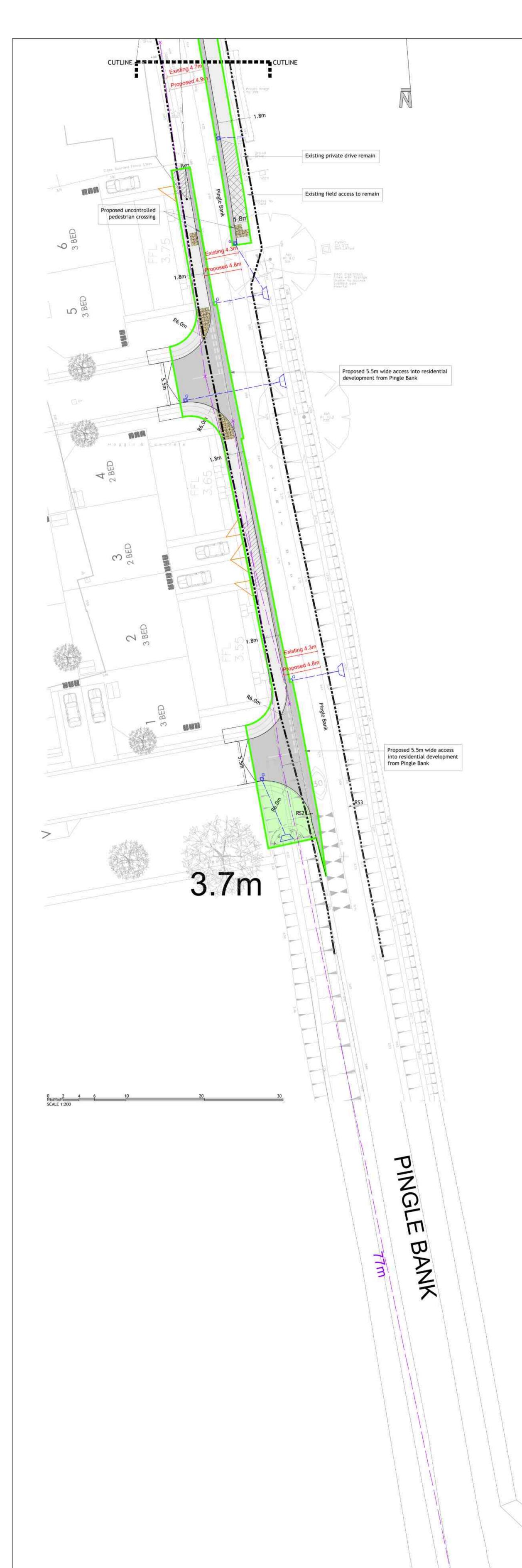
MR N COLLETT

DRAWING TITLE
HOUSE TYPES PLOTS 15-17
FLOOR PLANS AND ELEVATIONS

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NFM	1.0	2.0	3.0	4.0	5.0	6.0
DATE	DWG. No.	- 1	- 10		RE	٧.
29/02/20	10/07/101/03					

10/07/F1

16/06/22



Crossing point visibility splays Proposed asphalt carriageway — • • — Highway boundary Proposed asphalt footway Extent of Section 278 works Visibility splay 2.4m x 43.0m (unless otherwise stated)

Existing overhead cables Proposed grass verge SNP - Street name plate Vehicle access (light) RSx - Road sign — Existing surface water sewer Vehicle access (heavy) Proposed adoptable
Highway Authority road gully Tactile paving Proposed adoptable
Highway Authority
concrete sandbag headwall 2m x 2m pedestrian visibility splay PROJECT

PROJECT
Proposed residential development, Pingle Bank, Holme, Peterborough

CLIENT
NJC and Sons Farms Limited

DRAWING TITLE
Highway Improvement Plan - South

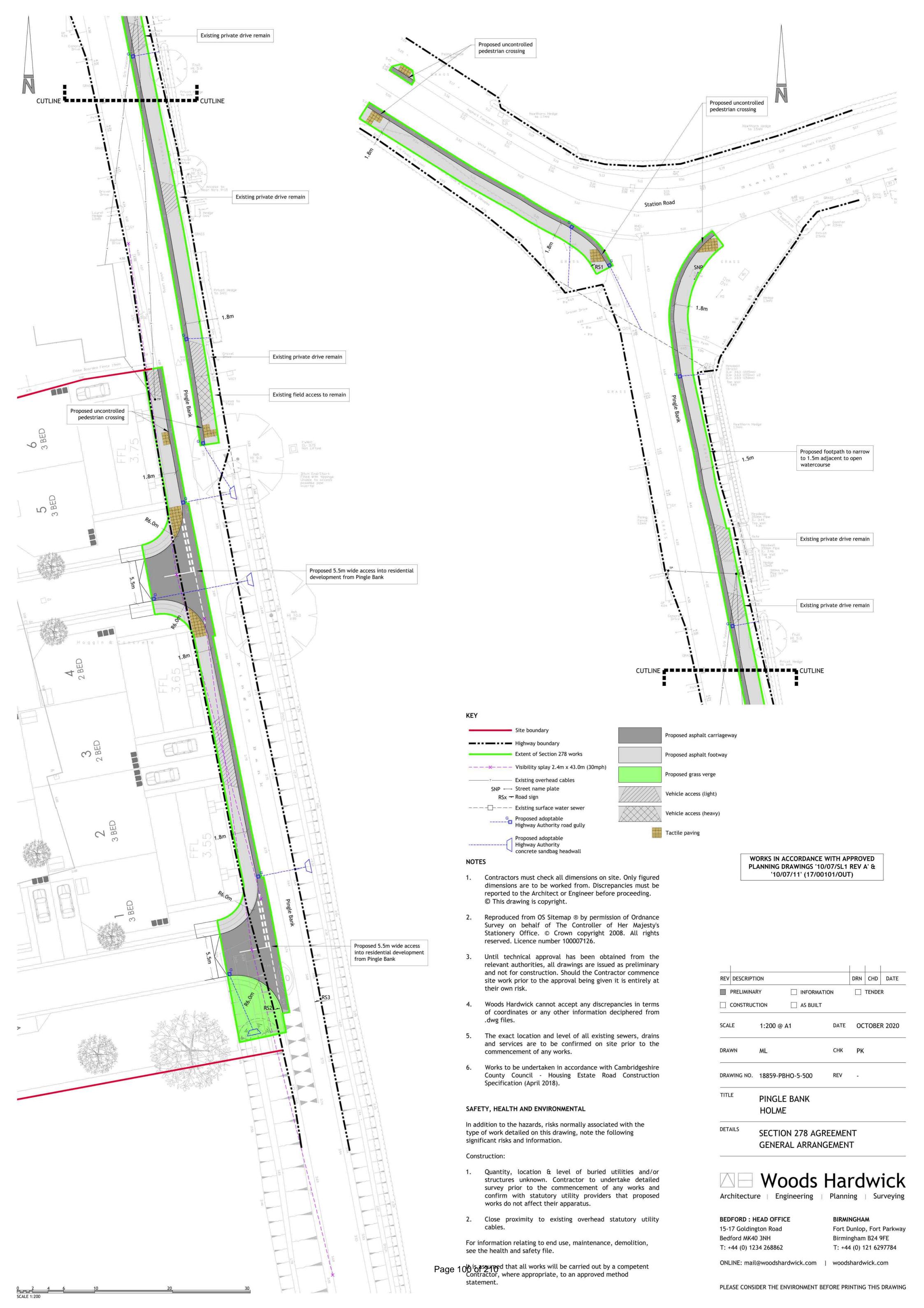
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Ime Brook

Page 99 of 210



DEVELOPMENT MANAGEMENT COMMITTEE 18th JULY 2022

Case No: 19/01258/FUL (FULL PLANNING APPLICATION)

Proposal: ERECTION OF 4 DWELLINGS WITH GARAGING AND

PARKING FOLLOWING THE DEMOLITION OF THE

EXISTING INDUSTRIAL BUILDINGS

Location: LAND NORTH EAST OF THE LAURELS FENTON

ROAD FENTON

Applicant: MR AUGSTEIN

Grid Ref: 531775 279689

Date of Registration: 24.07.2019

Parish: PIDLEY-CUM-FENTON

RECOMMENDATION - APPROVE

This application is referred to the Development Management Committee DMC as Fenton Parish Council's recommendation of refusal is contrary to the Officer's recommendation of approval.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 The application site currently hosts a collection of industrial barns which are located to the north-east of a cluster of residential properties that front Fenton Road. The site is rectilinear in shape and measures approximately 0.5 hectares. The sites northern boundaries are defined by soft established landscaping with open countryside beyond.
- 1.2 The site is located in the countryside and not within an established built-up area, albeit the site sits within a small cluster of six existing dwellings. From the proposed point of access to Fenton Road, the built-up area of Warboys is located 225m to the north west. Pidley cum Fenton to the south west is approximately 1.7km away. The access point is as existing via Padgetts Lane, which is a public right of way which provides a link to Heath Road in Warboys to the north and Fen Road in Pidley to the south. The total floor space of the existing buildings proposed for demolition is 1313m2.
- 1.3 The site does not lie within or adjacent to a Conservation Area. The site is adjacent to the Grade II Listed Laurels Farmhouse which fronts Fenton Road. The site lies within Flood Zone 1 as

- identified by the Huntingdonshire Strategic Flood Risk Assessment and the Environment Agency Maps for Flooding.
- 1.4 This application seeks full planning permission for the demolition of existing industrial buildings and the construction of four detached dwellings with associated access improvements, landscaping, and parking areas.
- 1.5 The scheme has been amended over the course of the application to address concerns raised by Officers. The proposed amendments have reduced the quantum of development from 9 dwellings to 4. The proposed development would consist of the following mix of units:

Plot 1: 3 bed detached house (140m2)

Plot 2: 3 bed link detached house (144m2)

Plot 3: 4 bed link detached house (153m2)

Plot 4: 5 bed detached house (243m2)

1.6 The application site currently hosts a collection of industrial barns which are located to the north-east of a cluster of residential properties that front Fenton Road. The site is rectilinear in shape and measures approximately 0.5 hectares. The sites northern boundaries are defined by soft established landscaping with open countryside beyond. The site does not lie within or adjacent to a Conservation Area. The site is adjacent to the Grade II Listed Laurels Farmhouse which fronts Fenton Road. The site lies within Flood Zone 1 as identified by the Huntingdonshire Strategic Flood Risk Assessment and the Environment Agency Maps for Flooding. The site is located in the countryside and not within an established built-up area, albeit the site sits within a small cluster of six existing dwellings. From the proposed point of access to Fenton Road, the built-up area of Warboys is located 225m to the north west.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (20th July 2021) (NPPF 2021) sets out the three objectives economic, social and environmental of the planning system to contribute to the achievement of sustainable development. The NPPF 2021 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'
- 2.2 The NPPF 2021 sets out the Government's planning policies for (amongst other things):
 - delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment

2.3 Planning Practice Guidance and the National Design Guide are also relevant and materials considerations

For full details visit the government website National Guidance

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
 - LP1 Amount of Development
 - LP2 Strategy for Development
 - LP4 Contributing to infrastructure delivery
 - LP5 Flood Risk
 - LP6 Wastewater Management
 - LP8 Key Service Centres
 - LP9 Small settlements
 - LP10 The Countryside
 - LP11 Design Context
 - LP12 Design implementation
 - LP13 Place making
 - LP14 Amenity
 - LP15 Surface water
 - LP16 Sustainable travel
 - LP17 Parking and vehicle movement
 - LP25 Housing Mix
 - LP30 Biodiversity and geodiversity
 - LP31 Trees, woodland, hedges and hedgerows
 - LP33 Rural Buildings
 - LP34 Heritage Assets and their Settings
 - LP37 Ground Contamination and Ground Water Pollution

3.2 Supplementary Planning Guidance

- Huntingdonshire Design Guide (2017) including:
 - 1 Introduction:
 - 1.6 Design principles
 - 2.1 Context and local distinctiveness
 - 2.5 Landscape character areas
 - 2.7 Architectural character
 - 3.5 Parking/ servicing
 - 3.6 Landscape and Public Realm
 - 3.7 Building Form
 - 3.8 Building Detailing
 - 4.1 Implementation
- Developer Contributions SPD (2011)
- Huntingdonshire Townscape and Landscape SPD (2022)
- Cambridgeshire Flood and Water SPD 2017
- Huntingdonshire Tree Guidance Note 3
- ECAP CCC Waste Management Design Guide (CCC SPD) 2012

Local For full details visit the government website Local policies

4. PLANNING HISTORY

- 4.1 18/02362/PLID -change of use from light industrial use (B1) light industrial to 3 dwellings (C3) Prior approval change of use approved
- 4.2 18/02361/PLID change of use from light industrial use (B1) light industrial to 2 dwellings (C3) Prior approval change of use approved
- 4.3 18/02360/PLID Change of use from Light Industrial Use (B1(c) to 3 dwellings (C3) Prior approval change of use approved
- 4.4 18/02359/P3PPA Change of use from Storage (Class B8) to dwellings (Class C3) Schedule 2, part 3, Class P Prior approval change of use refused

5. CONSULTATIONS

The application has been subject to five different periods of consultation following the receipt of amended proposals and revised plans. The comments received are summarised below.

5.1 Pidley cum Fenton Parish Council – Recommends refusal on the following grounds:

25th August 2019

- Concerns over traffic and highway safety Proper entrance and footpaths either side would be required.
 Would like to see Traffic calming, 40mph and would like this to be reduced to 30mph with footpaths, pedestrian crossings and additional lighting would all be required.
- It was felt that the width of the road through the houses was quite small for the number of cars with a few passing places to get by.
- Lorry bin collections also caused concerns as a lorry would not be able to get in. All bins would have to be walked through the houses and be on the main road on collection day and the night before.
- Other general concerns were pulling out on to the road, no shops in walking distance. No footpaths to be able to leave the development and walk anywhere safely. Sewerage also caused concern and building within the open countryside.

10th September 2021

- The development has the potential to cause issues for the house where the bins will accumulate the night before collection.
- They also felt that this would be overdevelopment of the site if approved.

- There is no net gain on the environmental impact as many trees are being removed.
- it is noted that there may be a loss of employment with the industrial units that are currently in use no longer being available.
- The sustainable safety of the development with the increase of families as there is no footpaths, street lights and the speed limit is over 30mph.

13th May 2022

 Concerns over the bin collection day, the lighting, speed limit and the lack of connectivity to Warboys. Therefore in relation to LP9 of the local plan this was rejected by all of the Parish councillors.

18th June 2022

- The Parish comments remain the same along with the decision to reject this application.
- It is of great concern to us with the lack of infrastructure, lighting, footpaths etc that this has been in the past for commercial use and not many people walking around the area as they would be in and out in vehicles. With this becoming residential the use changes and safety is of most importance.
- 5.2 Cambridgeshire County Council Highways No objection is raised. The information submitted confirms that there will be less vehicle movements associated with the proposal than with the existing use. it is also confirmed that the existing access is acceptable for the proposed development. Therefore, the proposal is unlikely to have any adverse impact on the public highway should planning permission be approved. It is suggested that the Local Planning authority consider the sustainability of the development given there is no footway connectivity to Warboys.
- 5.3 Cambridgeshire Fire and Rescue Should the Local Planning authority be minded to approve the application, it is requested that fire hydrants are secured by way of a Section 106 Agreement or planning condition. The location and number of fire hydrants will be determined following a risk assessment. Access and facilities for the Fire Service should also be provided in accordance with the Building Regulations Approved Document B5, section 16.
- 5.4 Cambridgeshire Public Rights of Way No objection is raised. Informatives are recommended.
- 5.5 Cambridgeshire Constabulary It is confirmed that the area experiences low crime rates. The proposed layout appears to be acceptable in relation to crime prevention and the fear of crime providing reasonable levels of natural surveillance. Suggestions

- are made in respect of bin collection, external lighting, landscaping and access to rear gardens.
- 5.6 HDC Environmental Health No comments or objections
- 5.7 HDC Landscape Following the receipt of amended plans, supports the application subject to a condition that requires the landscaping to be completed in accordance with the approved details
- 5.8 HDC Trees Having reviewed the revised plans and Arboriculutral Impact Assessment, previous concerns have been addressed. The development should be carried out in accordance with the approved details in terms of the development and tree protection measures.
- 5.9 HDC Conservation it is confirmed that the scheme will not cause harm to the setting of the listed building. It is requested that a small outbuilding within the site to the rear of the farmhouse is retained. Conditions are recommended to secure details of the brick wall to be constructed between the site and the listed building.
- 5.10 HDC Urban Design Following amendments to reduce the number of units, the application is supported subject to conditions covering materials, architectural details, and boundary treatments.
- 5.11 Environment Agency No objection. However, it is believed that the receiving Water Recycling Centre has limited permitted capacity. Therefore, in order to prevent harm to the local water environment, please confirm with Anglian Water that they can receive the foul drainage without exceeding their permit limits and that any necessary infrastructure updates will be made ahead of occupation of the development".
- 5.12 Anglian Water No comment. Confirms that comments are only provided on developments of 10 dwellings or more.

6. REPRESENTATIONS

- 6.1 One letter of objection has been received raising the following concerns:
 - The application is for a significant number of dwellings in a rural location backing onto open countryside contrary to local plan policy.
 - The proposal does not fulfil the aims of sustainable development.
 - There are no local services or amenities.
 - There is no footpath or cycle way to facilities nearby.
 - There is no safe way to access the nearby bus stop.

- 40mph road with poor visibility and no street lighting represents a danger to highway safety
- There has been no consideration for any contamination remedial works that may be necessary,
- The ecological site visit was conducted over one day and appears to underestimate the rich variety of wildlife

7. ASSESSMENT

- 7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.
- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2021). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".
- 7.3 In Huntingdonshire the Development Plan consists of:
 - Huntingdonshire's Local Plan to 2036 (2019)
 - Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021)
 - St Neots Neighbourhood Plan 2014-2029
 - Godmanchester Neighbourhood Plan (2017)
 - Houghton and Wyton Neighbourhood Plan (2018)
 - Huntingdon Neighbourhood Plan (2019)
 - Buckden Neighbourhood Plan (2021)
 - Bury Neighbourhood Plan (2021)
- 7.4 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.
- 7.5 The main issues to consider in the determination of this reserved matters application are:
 - The Principle of Development

- Impact upon the Character of the Area
- Impact upon Residential Amenity
- Impact on Heritage Assets
- Highway Safety and Parking
- Biodiversity
- Trees
- Flooding and Drainage
- Infrastructure
- Other issues

Principle of Development

7.6 When determining if the principle of development is acceptable, the key policies of the Huntingdonshire Local Plan to 2036 (the Local Plan) to consider are as follows. LP2 which sets out the broad overarching strategy for the quantum and location of growth across the borough. Generally, the level of and access to services that meet day to day needs should be commensurate with the scale of the development. Policy LP10 defines the type of development that would be acceptable in the countryside. Policy LP16 seeks to ensure the provision of sustainable transport in order to reduce the reliance on the private car. Policy LP33 provides an opportunity for the conversion or replacement outbuildings in the countryside, providing certain criteria are met. Applications should be determined in accordance with the development plan, unless material considerations indicate otherwise. In this case, there are other material considerations to have regard for, and this is considered further below.

Development Strategy

- 7.7 In terms of Policy LP2, the main objectives are:
 - Concentrate development in locations which provide, or have the potential to provide, the most comprehensive range of services and facilities:
 - Direct substantial new development to two strategic expansion locations of sufficient scale to form successful, functioning new communities;
 - Provide opportunities for communities to achieve local development aspirations for housing, employment, commercial or community related schemes;
 - Support a thriving rural economy;
 - Protect the character of existing settlements and recognise the intrinsic character and beauty of the surrounding countryside;
 - Conserve and enhance the historic environment: and
 - Provide complementary green infrastructure enhancement and provision to balance recreational and biodiversity needs and to support climate change adaptation.
- 7.8 Regarding the distribution of growth, Policy LP2 states that approximately a quarter of the objectively assessed need for housing, together with a limited amount of employment growth,

will be permitted on sites dispersed across the key service centres and small settlements to support the vitality of these communities and provide flexibility and diversity in the housing supply. In addition, rural exception, small and windfall sites will be permitted on sites which are in conformity with other policies of this plan providing further flexibility in the housing supply.

- 7.9 The site is detached from the built-up areas of the nearby Key Service Centre of Warboys which offers a moderate range of services and facilities. The site is also considered to be significantly detached from the smaller settlement of Pidley cum Fenton with no safe access on foot and with limited access via public transport.
- 7.10 It is considered that the site cannot be accessed safely from the local road network by all future occupiers via sustainable transport modes such as walking or cycling unless the routes provided by the public rights of way are utilised, which may deter some users due to the length of the route and the condition of the footpath. Representations have been made by the Parish Council and members of the public on this matter. There is however access via public transport due to the presence of a bus stop in close proximity to the site, although it should be acknowledged there is a lack of pedestrian infrastructure linking the site to the nearest bus stop. Whilst it is considered likely that many future users of the site would access nearby services via private car, it should be acknowledged that the number of vehicular movements generated would be less than is generated by the current use, which overall would reduce the amount of trips generated from this site. This has been confirmed by the Local Highways Authority Cambridgeshire County Council.
- 7.11 It should also be acknowledged that the short distance to Warboys (approximately 225m) is accessible for some users on foot or cycle, particularly in daytime hours. Therefore, whilst it is recognised that future occupiers of the site would be reliant on private vehicle use to access the nearest services and facilities, the number of trips generated, and the short distance to Warboys would represent a reduction in trip rates from and to the site. This should be given positive weight in the planning balance.

Transport Sustainability

7.12 Notwithstanding this, the detachment to local services and restricted ability for future householders of these dwellings to access them via sustainable modes of transport leads to some conflict with the first objective of the Strategy for Development in Huntingdonshire under Policy LP2 of the Local Plan listed above as well as Policy LP16 which states, "New development will be expected to contribute to an enhanced transport network that supports an increasing proportion of journeys being undertaken by sustainable travel modes".

7.13 Balanced against this conflict is the significant material consideration provided by the fall-back position of the local planning authority previously having granted prior approval in 2019 for the conversion of the existing buildings to create 8 dwellings in total across the site under Schedule 2, Part 3, Class PA of The Town and Country Planning (General Permitted Development) (England) Order 2015. Whilst this change of use was deemed to be permitted but was never implemented, nevertheless it demonstrates that the conversion of the existing buildings to create a large-scale residential development is possible and could be applied for successfully again. When having regard to this as a genuine fall back position for the applicant, the proposal in terms of the quantum of development and the relative sustainability better complies with policies LP2 and LP16 of the Local Plan and should be considered more favourably in this regard and carries significant weight in the determination of the application.

Development in the countryside

- 7.14 It is noted that other policies of the Local Plan provide opportunities for some development in rural areas to allow the organic growth of the rural economy and convert/replace redundant and disused buildings.
- 7.15 Because the site is located in the countryside, the proposal must be assessed against Policy LP10 of the Local Plan.
- 7.16 Policy LP10 states that development in the countryside will be restricted to the limited and specific opportunities as provided for in other policies of this plan and that all development in the countryside must:
 - a. seek to use land of lower agricultural value in preference to land of higher agricultural value:
 - i. avoiding the irreversible loss of the best and most versatile agricultural land (Grade 1 to 3a) where possible, and
 - ii. avoiding Grade 1 agricultural land unless there are exceptional circumstances where the benefits of the proposal significantly outweigh the loss of land;
 - b. recognise the intrinsic character and beauty of the countryside; and
 - c. not give rise to noise, odour, obtrusive light or other impacts that would adversely affect the use and enjoyment of the countryside by others.
- 7.17 With regard to part a. of Policy LP10, the site is previously developed land (also known as brownfield land) and would therefore not result in the loss of any of the districts best and most versatile agricultural land.

- 7.18 The appropriate re-use of previously developed land is promoted within the NPPF 2021 under paragraph 120 part c. which states "Planning policies and decisions should give substantial weight to the value of using suitable brownfield land within settlements for homes and other identified needs, and support appropriate opportunities to remediate despoiled, degraded, derelict, contaminated or unstable land".
- 7.19 In terms of part b. of Policy LP10, the layout of the proposed scheme would result in a low gross site density of 12.2dph (based on a site area of 1.8Ha) which is considered appropriate in design terms and reflective of the rural context. The site layout comprises an inward facing development reinforcing the characteristics of a farmstead This arrangement is supported and generally is considered to respect the character and appearance of the countryside.
- 7.20 In terms of the design and appearance of the proposed buildings, the new build units take a simple traditional approach and seek to reflect barn style dwellings with some simple and traditional detailing to complement the rural setting and the existing farmstead complex. The general design, layout, scale, theme and character of the proposed development is supported as it would respond positively to the context of the surrounding area and result in a high quality appearance in replacement of predominately out of scale and character industrial buildings which lack significant architectural merit and currently provide a limited contribution to the rural character of the area. The footprint of the proposed development would result in a 52% reduction in floor area compared with the existing industrial buildings. It is considered that the proposed development accords with part b. of Policy LP10.
- 7.21 With regard to part c. of Policy LP10, it is not considered that the proposed development would give rise to noise, odour, obtrusive light or other impacts that would adversely affect the use and enjoyment of the countryside by others that could not be overcome with the use of conditions. The proposed residential use would be in keeping and more sympathetic to the cluster of six residential properties that surround the site. Given the nature of the current use of the site, the development provides the opportunity to remediate any possible contaminated land and would be unlikely to increase the noise levels from the site.
- 7.22 It is considered that the proposal accords with Policy LP10 when assessed on its own specific criteria. However, the policy clearly states that development in the countryside will be restricted to the limited and specific opportunities as provided for in other policies of this plan. The main other policy of relevance to this proposal is LP33 and this forms the main justification from the Planning Agent as to why the application should be acceptable.

Rural Buildings

- 7.23 Policy LP33 of the Local Plan states that "A proposal for the conversion of a building in the countryside that would not be dealt with through 'Prior Approval/ Notification' will be supported where it can be demonstrated that:
 - a. the building is:
 - i. redundant or disused:
 - ii. of permanent and substantial construction;
 - iii. not in such a state of dereliction or disrepair that significant reconstruction would be required; and
 - iv. structurally capable of being converted for the proposed use; and
 - b. the proposal:
 - i. would lead to an enhancement of the immediate setting; and
 - ii. any extension or alteration would not adversely affect the form, scale, massing or proportion of the building."
- 7.24 A proposal for the replacement of a building in the countryside will be supported where criteria a, i to iii above are fulfilled and the proposal would lead to a clear and substantial enhancement of the immediate setting. A modest increase in floorspace will be supported. The position of the replacement buildings within the site should be considered comprehensively so that it is located where it would have the least possible adverse impact on the immediate surroundings, the wider landscape and the amenity of the users of existing buildings nearby."
- 7.25 This local plan policy is supported by Paragraph 80 part c of the NPPF 2021 which states that "Planning policies and decisions should avoid the development of isolated homes in the countryside unless the development would re-use redundant or disused buildings and enhance its immediate setting".
- 7.26 With regard to part a. i. of Policy LP33, it is acknowledged that the existing buildings are in use. The Applicant has sought to overcome this policy conflict with the submission of a viability report which confirms that significant investment in the buildings would be required in the short term to maintain the standards required for commercial letting.
- 7.27 In terms of the remaining criteria of part a. of Policy LP33, it is considered that the buildings are of permanent and substantial construction, not in a state of dereliction or disrepair that significant reconstruction would be required and are structurally capable of being converted for the proposed use. This view is supported by the Local Planning Authority having granted prior approval for their conversion and change of use previously and as recently as 2019. As discussed above, the general design of the proposed development is acceptable and would provide a clear and substantial enhancement of the site and immediate setting. There is no objection to the proposed footprint of the

dwellings in relation to the existing buildings as the development would see a significant reduction in footprint and volume which would enhance the site and the immediate and wider countryside setting.

7.28 Overall, it is considered that the proposal would not result in the loss of the district's best and most versatile land and the redevelopment would enhance the immediate setting and therefore accords with policies LP10 and LP33 which provide for redevelopment opportunities within the countryside. However, while the efficient re-use of land is supported within the NPPF 2021, the proposed development is not considered to be in a highly sustainable location with regard to access to nearby services and facilities and the reliance on future occupiers of the site to use private vehicles to travel. This proposal would conflict with the fundamental objectives of the strategy for development in Huntingdonshire and the overarching aims of the NPPF 2021 which seek to achieve sustainable development. This weighs against the development. However, as discussed, the fall-back position and the additional environmental, social and economic benefits are considered sufficient to outweigh any harm arising through conflict with Policies LP2 and LP16.

Loss of employment land

Concerns have been raised by the Parish Council that the 7.29 development would lead to the loss of an employment site that is in existing use. Whilst this is accepted, it must be acknowledged that the site is not specifically protected by policy LP18 of the Local Plan and there are strategic policies in the plan that seek to support the protection or creation of new or expanded employment sites at other locations. Policy LP19 seeks to support the creation of new or expanded small scale businesses within the countryside where there is a requirement for such businesses to be in the countryside. However, the policy does not seek to restrict the loss of small scale business uses and it has not been demonstrated why the existing occupants could not operate in other established employment areas. The application is also supported by a viability assessment which demonstrates that the existing buildings are of permanent and substantial construction, but significant investment would be required in the short-term future in order to remain in viable use. Furthermore, the creation of Permitted Development Rights for the change and use and conversion of buildings and sites such as this reemphasise the support for flexibility in uses, particularly where it would boost the supply of housing or meet other development needs.

Summary and conclusion

7.30 Overall, it is acknowledged that the site is detached from the nearest settlement and future residents would be reliant on the private car to access local facilities and services. This leads to a degree of conflict with policies LP2 and LP16 and this weighs negatively in the planning balance. However, the proposal would accord with policies LP10 and LP33 in terms of redeveloping the existing site and enhancing the immediate locality. This weighs positively in the planning balance. Having regard for the fall-back position provided by permitted development rights, it is considered overall and on balance that the principle of development is acceptable.

Impact on the Character and Appearance of the Area

- 7.31 Policy LP11 of the Local Plan states "A proposal will be supported where it is demonstrated that it responds positively to its context and has drawn inspiration from the key characteristics of its surroundings, including natural, historic and built environment, to help create distinctive, high quality and well-designed places. In order to achieve this a proposal will need to have applied the guidance contained in the Huntingdonshire Design Guide SPD (2017) and the Huntingdonshire Landscape and Townscape SPD (2017). A proposal should also have had regard to relevant advice or guidance that promotes high quality design, details the quality or character of the area or describes how the area should develop in the future."
- 7.32 Policy LP12 of the Local Plan states that "New development and advertisements will be expected to be well designed based upon a thorough understanding of constraints and appraisal of the site's context, delivering attractive, usable and long-lasting buildings and spaces."
- 7.33 As discussed in detail within the 'Principle of Development' section above, it is considered that the proposed development responds positively to its context and would be a low-density high-quality development suitable for this rural location in design terms and would represent a clear and substantial enhancement to the site and its setting. Notwithstanding the location of the site, the proposed layout of the development would be accessible and functional in and around the plots to meet the requirements of future occupiers.
- 7.34 Overall, it is considered that the proposal accords with policies LP11 and L12 having regard for the character and appearance of the area.

Impact on Residential Amenity7.

- 7.35 Policy LP14 of the Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 7.36 The NPPF, at paragraph 127 states that decisions should ensure that developments should create places with a high standard of amenity for existing and future users.
- 7.37 The low density of the proposed site and the predominant back-to-back arrangement of the units has ensured that there would be no significant unneighbourly impacts resulting from the development and that adequate separation is achieved at first floor levels between the proposed dwellings and to the existing neighbouring properties in excess of the 21 metres recommended by the Huntingdonshire Design Guide SPD 2017.
- 7.38 It is considered that there are no concerns with regard to overbearing, overshadowing or overlooking as a result of the proposed development, for the reasons set out above.
- 7.39 The proposal would provide a high standard of amenity for future users and occupiers of the site and would retain and improve a high standard of amenity for users and occupiers of neighbouring land and buildings in accordance with Policy LP14 of the Local Plan and Paragraph 130 part f of the NPPF 2021.

Impact on Heritage Assets

- 7.40 Policy LP34 seeks to protect heritage assets and their settings by giving great weight and importance to conservation and echoes the sentiments of the NPPF in that any harm should be outweighed by public benefits.
- 7.41 Paragraph 195 of the NPPF requires that local planning authorities should identify and assess the particular significance of a heritage asset (or its setting) that may be affected by a proposal. Paragraph 197 states that decisions should take account of the desirability of sustaining and enhancing the significance of a heritage asset and putting them to viable use consistent with their conservation.
- 7.42 Section 66 of the Town and Country Planning (listed buildings and conservation areas) act 1990 requires that special attention shall be had for preserving a listed building and its setting.
- 7.43 The site is not within a conservation area or the setting of any conservation area, but the site is within the setting of the grade II Listed Laurels Farmhouse.

- 7.44 The listing description of Laurels Farm House is as follows: "4/10 II 2. Mid C19 house. Gault brick. Slate roof of low pitch. End stack. Two-storeys. Flat arches to range of three hung sashes with glazing bars. Central doorway. Doorcase of pilasters and plain entablature with shaped cornice. Late C19 two-storey extension to left hand."
- In terms of the proposals submitted as part of the application, it is accepted that they represent an opportunity to improve the existing negligible adverse setting of the principal listed building which has occurred in association with the previous use. The removal of the modern additions to the former farm complex and the construction of new build on the footprint of the former range will partly help to restore the historic layout of the site and the understanding of the farm complex in association with the house and therefore partly restore its setting thus better reveal its heritage significance. Removal of the large modern barns and its replacement with smaller scale buildings that reinforce the traditional agricultural appearance of the group will be beneficial to the sites overall setting. Overall and when considering all elements of the proposals, it is concluded that the development would result in impacts ranging negligible beneficial to medium beneficial and therefore the proposals would not result in harm to the setting or significance of the listed buildings, their settings or that of the non-designated heritage assets. The Council's Conservation Officer raises no objection to the proposal following clarification that was received which confirms that an existing outbuilding outside of the application and adjacent to the Listed Farmhouse is to be retained. It is however suggested that details of the brick wall to be constructed to the rear of the listed farmhouse be secured by way of a planning condition.
- 7.46 Overall, it is considered that the proposal represents an opportunity to enhance the setting of the listed building and therefore better reveal its significance in accordance with paragraph 197 of the NPPF. The proposals are also considered to have regard for the desirability of preserving the special intertest of the listed buildings and their settings in accordance with Section 16 and 66 of the Planning (Listed Building and Conservation Areas) act 1990.
- 7.47 The enhancement to the setting of the heritage assets described above as a benefit of the scheme is considered within the planning balance below.

Highway Safety and Parking

7.48 There are no specific parking policy standards within local policy. Local Plan policy LP17 requires appropriate space within the site for vehicular movements, facilitates accessibility for service and emergency vehicles and incorporates adequate parking for vehicles and cycles. The policy also requires clear justification for

the level of vehicle and cycle parking proposed having regard to the following factors:

Highway safety to and from the site

Servicing requirements

Accessibility of the development to a wide range of services and facilities by public transport, walking and cycling

Needs of potential occupiers

Amenity of existing and future residents

Opportunities for shared provision

- 7.49 Paragraph 111 of the NPPF states that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.
- 7.50 Given the scale and use of the proposed development and the favourable consultation comments received by the County Council Highways Team, Officers are satisfied the proposal is acceptable with regards to highway safety and parking provision. The application therefore complies with Policy LP17 of the Huntingdonshire Local Plan to 2036 as the access roads would provide appropriate space for vehicular movements within the site, provide for sufficient parking and would take into account highway safety when entering or leaving the site and within the site. The Highways Officer has not recommended the use of any conditions within their formal consultation response. It is however considered reasonable and appropriate to impose a condition that requires the provision of parking prior to occupation and its retention thereafter.

Biodiversity

- 7.51 Policy LP30 of the Huntingdonshire Local Plan to 2036 requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated and ensure no net loss in biodiversity and provide a net gain where possible, through the planned retention, enhancement and creation of habitats and wildlife features, appropriate to the scale, type, and location of development.
- 7.52 Paragraph 174 part D of the NPPF (2021) states that planning policies and decisions should contribute to and enhance the natural and local environment by: minimising impacts on and providing net gains for biodiversity, including by establishing coherent ecological networks that are more resilient to current and future pressures.
- 7.53 This application is accompanied by a Preliminary Ecological Appraisal (PEA) which confirms that the site is not protected in statutory terms and the nearest statutorily designated site is Warboys Clay Pits Site of Special Scientific Interest (SSSI) located 2km north west of the site. Priority habitats are located

130m south and 350m east of the site. The PEA considers the presence of and potential for species and habitats in respect of Bats, birds, reptiles, amphibians, Badgers and other mammals. The PEA concludes that the site supports common and widespread habitats low in ecological value. The boundary trees are considered to be the highest value foraging habitat. There were no signs of or evidence of protected, priority or rare species and the risk to significant impact on such or to local ecological value was considered to be very low.

- 7.54 It is considered that the scheme provides an opportunity to enhance the ecological value of the site through the creation of domestic gardens which are likely to be more diverse than the existing industrial use of the site and the associated areas of buildings and hardstanding. The PEA makes various recommendations to secure enhancements such as bird and bat boxes which can be fixed to buildings or trees, provision of a hedgehog dome and soft landscaping to be of native species, prioritising fruit producing varieties of trees and hedgerows. It is recommended that a condition is imposed on any permission that requires an ecological mitigation strategy to be submitted that accords with the recommendations within the PEA.
- 7.55 Subject to such condition, it is considered that the proposal would accord with Policy LP30 of the Huntingdonshire Local Plan and would avoid a net loss in biodiversity.

Impact on Trees

- 7.56 This application is accompanied by an Arboricultural Impact Assessment which has been amended in response to revised proposals.
- 7.57 The scheme has been amended significantly in response to Officer concerns by reducing the number of dwellings from nine to four. The amended scheme has subsequently reduced the extent of development and therefore the pressure on existing site features such as trees which otherwise would have been removed.
- 7.58 Subject to conditions that require the landscaping scheme to be carried out and implementation of the approved Arboricultural Method statement, it is considered that the arboriculture constraints of the development have been assessed and a combination of protective measures, sensitive construction work, and compensatory planting can be secured to ensure that the development can be made acceptable in arboricultural terms, in accordance with Policy LP31 of the Local Plan.

Flood Risk and Drainage

- 7.59 Policy LP5 states that proposals will only be supported where all forms of flood risk have been addressed. The application is for minor development (less than 10 units) and is not therefore required to be accompanied by a Flood Risk Assessment (FRA). The site is located in Flood Zone 1, no fluvial flood mitigation is required.
- 7.60 In terms of surface water drainage, paragraph 6.3.17 of the Cambridgeshire Flood and Water SPD 2017 states that it is a Building Regulations and PPG requirement that the discharge hierarchy for surface water drainage is followed.
- 7.61 The hierarchy requires that rainwater shall discharge to the following, listed in order of priority:
 - To ground in an adequate soakaway or some other adequate infiltration system
 - A watercourse
 - A surface water sewer, highway drain or other drainage system
 - A combined sewer
- 7.62 The submitted application form states that surface water will be discharged of by main sewer. Whilst it should be acknowledged that this is not the preferred method having regard for the above guidance, it is beyond the scope of this application and would be subject to building regulations and a separate consenting process with Anglian Water. Anglian Water have been consulted as part of the application and have confirmed that they have no comments to make as the development proposal is for less than 10 dwellings. In the unlikely event that Anglian Water refuse to allow a connection to the main sewer, an alternative means to discharge surface water will need to be considered and it is recommended that this is considered, approved and secured by way of a planning condition.
- 7.63 In terms of foul water drainage, the application form states that it is unknown how foul water will be disposed of. Connection to the foul sewer in the locality would also be subject to building regulations approval and approval by Anglian Water. It is not considered that a foul water strategy is required, and the specific details of foul water drainage can be agreed through the use of planning conditions without contravening Policy LP6 of the Local Plan.
- 7.64 Overall, it is considered that the risk of flooding has been appropriately assessed and whilst no detailed mitigation measures have been proposed, these can be secured by imposing reasonable and appropriate planning conditions. Subject to a condition, in terms of flood risk and drainage the proposal accords with Policies LP5, LP6 and LP15 of the Local Plan and Section 14 of the NPPF 2021.

Infrastructure Requirements and Planning Obligations

- 7.65 The Infrastructure Business Plan 2013/2014 was developed by the Growth and Infrastructure Group of the Huntingdonshire Local Strategic Partnership. It helps to identify the infrastructure needs arising from development proposed to 2036 through the Core Strategy.
- 7.66 Statutory tests set out in the Community Infrastructure Regulations 2010 (Regulation 122) require that S106 planning obligations must be
 - * necessary to make the development acceptable in planning terms,
 - * directly related to the development and
 - * fairly and reasonable related in scale and kind to the development.
- 7.67 S.106 obligations are intended to make development acceptable which would otherwise be unacceptable in planning terms.
- 7.68 In accordance with the Developer Contributions Supplementary Planning Document 2011, the following planning obligations are required to make the development acceptable.

Residential Wheeled Bins:

7.69 Each dwelling would require the provision of one black, blue and green wheeled bin. The current cost of such provision to the developer is £150 per dwelling and would be secured through a Unilateral Undertaking prior to any permission being granted.

Community Infrastructure Levy (CIL):

7.70 The development would be CIL liable in accordance with the Council's adopted charging schedule; CIL payments will cover footpaths and access, health, community facilities, libraries and lifelong learning and education.

Other issues

Accessible and Adaptable Homes

7.71 The requirements within Policy LP25 of Huntingdonshire's Local Plan relating to accessible and adaptable homes are applicable to all new dwellings. This states that all dwellings should meet Building Regulation requirement M4(2) 'accessible and adaptable dwellings' and that for all affordable housing an appropriate proportion should meet Building Regulation requirement M4(3) 'wheelchair adaptable dwellings'. These include design features that enable mainstream housing to be flexible enough to meet the current and future needs of most households, including in particular older people and those with some disabilities, and also families with young children. It is

considered that a suitably worded planning condition could secure compliance with Policy LP25.

Water Efficiency

7.72 Policy LP12 of the Local Plan to 2036 requires proposals that include housing to comply with the optional building regulation for water efficiency, as set out in Approved Document G. The agent has confirmed that the proposed development is designed in accordance with the standards and will be built in accordance with these. A condition will be imposed upon any consent to ensure that the development is built in accordance with these standards and that they are maintained for the life of the development.

Bin Storage and Presentation

7.73 The Parish Council have raised concerns that the proposal does not adequately provide for bin storage or bin collection. Each dwelling has sufficient space within its curtilage for the storage of the required bins. In terms of bin presentation, plot 1 would be served by a secondary and unique pedestrian access directly reaching Fenton Road for the purposes of bin presentation. Plots 2, 3 and 4 would also be served by a bin presentation that currently exists for the adjacent properties on the northern side of the existing cluster of dwellings. Subject to exact details being submitted of bin presentation to ensure it is safe and of satisfactory appearance, it is not considered that there are any concerns in respect of bin storage or bin presentation.

CONCLUSION

- 7.74 This application must be considered against the test in S38 (6) of the Planning and Compulsory Purchase Act 2004, namely, in accordance with the development plan unless material considerations indicate otherwise. The NPPF has at its heart the presumption in favour of sustainable development (para 11) and requires the approval of development proposals that accord with an up-to-date development plan without delay. The presumption in favour of sustainable development requires proposals to achieve economic, social and environmental gains; as such a balancing exercise has to be undertaken to weigh the benefits of the scheme against its disadvantages. When considered in the round, a development proposal would contribute to the economic, environmental and social dimensions of sustainability.
- 7.75 In terms of the economic dimension of sustainable development, the proposal would contribute towards economic growth both in the short term through job creation during the construction phase and in the longer term through the additional population assisting the local economy through spending on local services and facilities. There would also be Council Tax, Section 106 and

- Community Infrastructure Levy contributions arising from the development.
- 7.76 In terms of the environmental dimension of sustainable development, the proposal would re-use a previously developed site and would enhance the site and its setting and the setting of heritage assets. The access is considered to be safe and suitable to serve existing and proposed uses.
- 7.77 In terms of the social dimension of sustainable development, the scheme would make a contribution to local housing requirements and would deliver four residential dwellings seeking to support the aspirations of present and future generations. Purely in terms of the application site itself, the proposal is well laid out and would provide safe, accessible and functional residential units with ample private amenity spaces which would not have a significant impact on neighbour amenity. The site is in a countryside location but is not isolated and there are reasonable but limited means of accessing the services and facilities within the nearby settlements without relying on the private car. The proposal represents a significant positive opportunity to secure the comprehensive redevelopment of the site for a fewer number of dwellings that could otherwise be achieved through the less than desirable conversion of the existing building without the need for planning permission.
- 7.78 Having regard to all relevant material considerations, it is recommended that approval be granted subject to the imposition of appropriate conditions and the receipt of a satisfactory legal agreement to secure payment of bin provision for each dwelling

8. RECOMMENDATION - APPROVAL subject to conditions to include the following

- Standard 3 year time limit
- Approved plans
- Provision and retention of parking spaces
- Details of, provision of and retention of cycle storage
- Details of, provision of and retention of waste storage and presentation
- Architectural and external material details
- Provision and details of Boundary Treatments
- Finished floor levels to be agreed.
- Provision/details of fire hydrants prior to occupation
- Unexpected contamination to be remediated and verified prior to occupation.
- Ecological mitigation strategy
- Tree mitigation
- Details of surface water and foul drainage

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CONTACT OFFICER:

Enquiries about this report to **Lewis Marshall Senior Development**Management Officer – lewismarshall@huntingdonshire.gov.uk

From: DMAdmin

Sent:25 August 2019 10:57To:DevelopmentControlSubject:FW: ref:19/01258/FUL

From: Pidley cum Fenton <pidleycumfenton@gmail.com>

Sent: 23 August 2019 21:07

To: DMAdmin < Development. Management Admin@huntingdonshire.gov.uk >

Subject: ref:19/01258/FUL

Hi,

Apologies, i seem to have lost the email in relation to the planning application for Land North East of New Laurels Fenton Road, Fenton hence my delay in replying.

Unfortunately this was rejected by all of our councillors in our August meetings for a number of reasons which i document below:

There are concerns over the traffic and highway safety - Proper entrance and footpaths either side would be required. We would like to see Traffic calming, 40mph and would like this to be reduced to 30mph with footpaths, pedestrian crossings and additional lighting would all be required.

It was felt that the width of the road through the houses was quite small for the number of cars with a few passing places to get by.

Lorry bin collections also caused concerns as a lorry would not be able to get in. All bins would have to be walked through the houses and be on the main road on collection day and the night before.

Other general concerns were pulling out on to the road, no shops in walking distance. No footpaths a this moment to be able to leave the development and walk anywhere safely. Sewerage also caused concern and building within the open countryside.

Many thanks and kind regards

Louise Clowery Parish Clerk - Pidley cum Fenton 07368 271251 or 01487 500 115

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You may request access to the information we hold on you pidleycumfenton@gmail.com

From: Louise Clowery <clerk@pidleycumfenton-pc.gov.uk>

Sent: 10 September 2021 12:50

To: DMAdmin

Subject: Re: Planning Permission Consultation - Land North East Of The Laurels Fenton

Road Fenton (ref 19/01258/FUL)

Hi,

Our councillors felt that the alleyway was too narrow and has the potential to cause issues for the house where the bins will accumulate the night before collection.

They also felt that this would be overdevelopment of the site if approved.

There is no net gain on the environmental impact as from the plans many trees are being removed.

it was noted that their may be a loss of employment with the industrial units that are currently in use no longer being available.

Lastly the sustainable safety of the development with the increase of families as there is no footpaths, street lights and the speed limit is over 30mph. If this application is approved, could these factors be considered?

This application was rejected by all of our councillors.

Kind regards

Louise

Louise Clowery Clerk to Pidley cum Fenton Parish Council 07907 339 077 or 01487 500 115

On 2021-08-19 09:07, Dmadmin@huntingdonshire.gov.uk wrote:

Dear Parish Clerk,

Please find correspondence from Development Management at Huntingdonshire District Council attached to this email in relation to the following application for planning permission.

Proposal: Erection of 5 dwellings with garaging and parking following the demolition of the existing industrial buildings

Site Address: Land North East Of The Laurels Fenton Road Fenton

Reference: 19/01258/FUL

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If you have any doubts or concerns relating to this email please contact us directly, our contact details are provided below.

Development Management Huntingdonshire District Council

T: 01480 388388

E: dmadmin@huntingdonshire.gov.uk

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From: Louise Clowery <clerk@pidleycumfenton-pc.gov.uk>

Sent: 13 May 2022 13:38

To: DMAdmin

Subject: Re: Planning Permission Consultation - Land North East Of The Laurels Fenton

Road Fenton (ref 19/01258/FUL)

Categories: Jason

Hi,

This application was met by our councillors with similar views to the last time it was submitted for approval. There were concerns over the bin collection day, the lighting, speed limit and the lack of connectivity to Warboys. Therefore in relation to LP9 of the local plan this was rejected by all of our councillors.

Kind regards

Louise

Louise Clowery Clerk to Pidley cum Fenton Parish Council 07907 339 077 or 01487 500 115

On 2022-05-05 09:32, Dmadmin@huntingdonshire.gov.uk wrote:

Dear Parish Clerk,

Please find correspondence from Development Management at Huntingdonshire District Council attached to this email in relation to the following application for planning permission.

Proposal: Erection of 4 dwellings with garaging and parking following the demolition of the existing industrial buildings

Site Address: Land North East Of The Laurels Fenton Road Fenton

Reference: 19/01258/FUL

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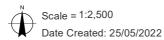
E: dmadmin@huntingdonshire.gov.uk

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Development Management Committee

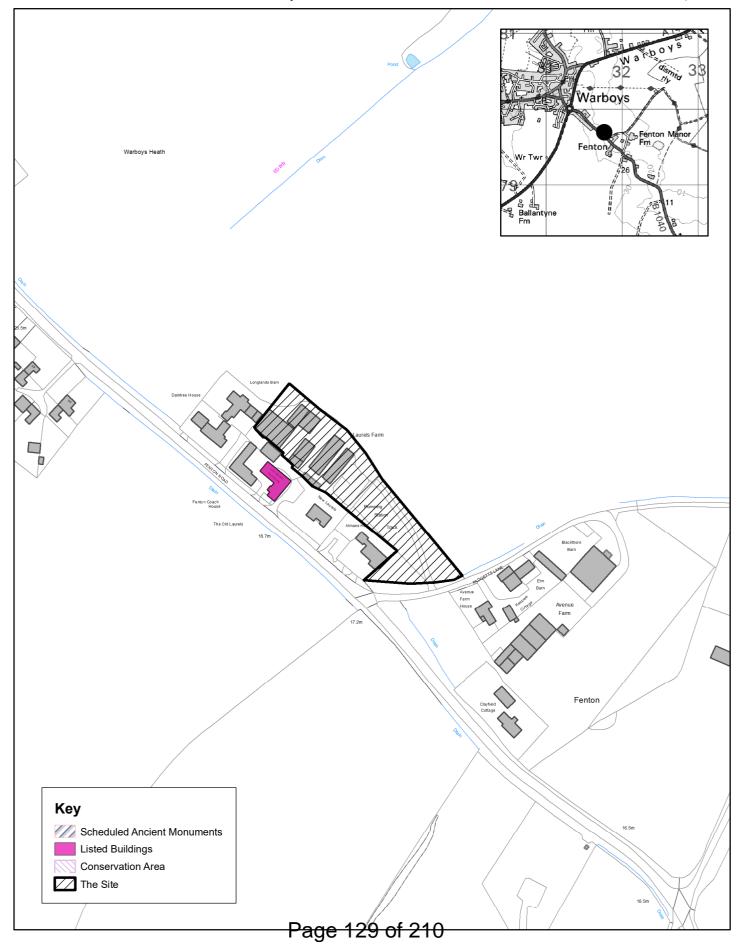


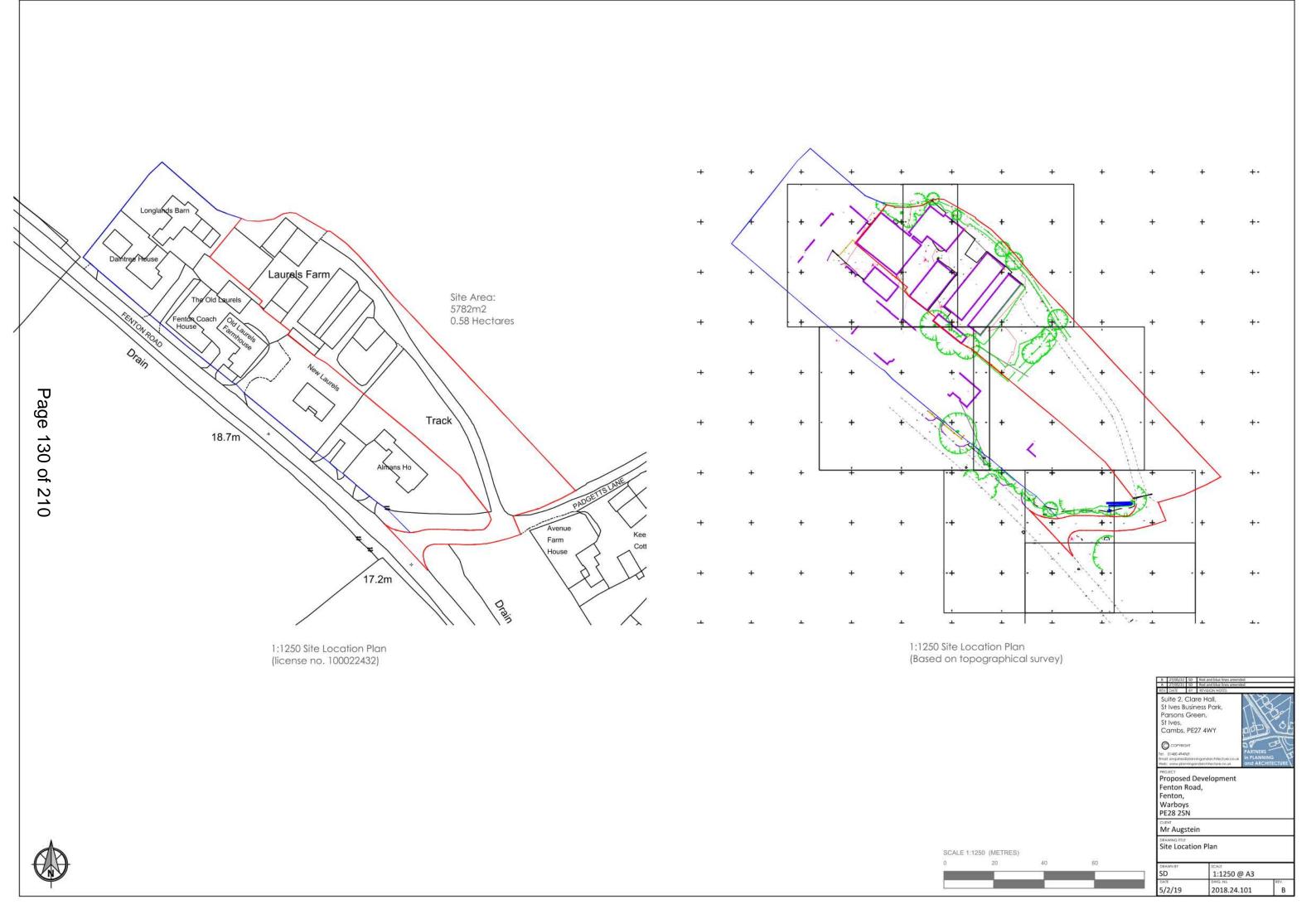
Application Ref:19/01258/FUL

Location: Pidley-cum-Fenton



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Sloped pathway leading



House Legend:

Plot 1-3 Bed: 140m2

Materials Legend:
Doors &Windows: Engineered timber or aluminium, colour, style tbc. stone sills where shown on elevations
Walls: Brickwork- mix of red multi and classic buff across the site Horizontal Boarding- colour/style tbc.
Roof: Mix of grey slate tiles and clay pan tiles across site, exact plots tbc.



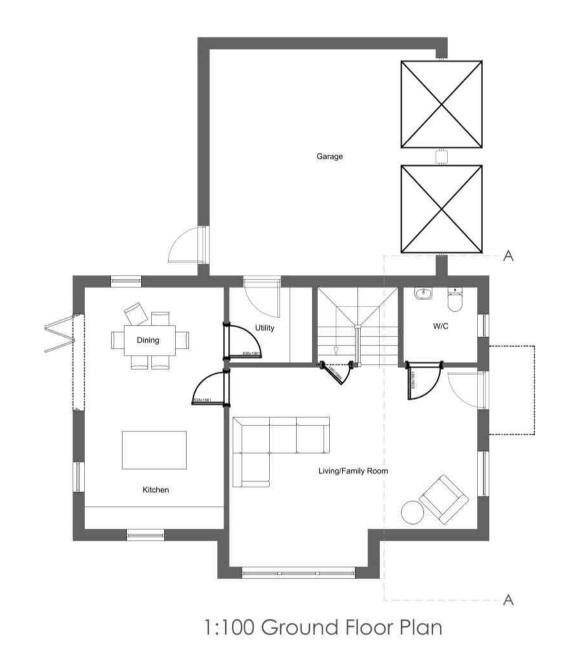


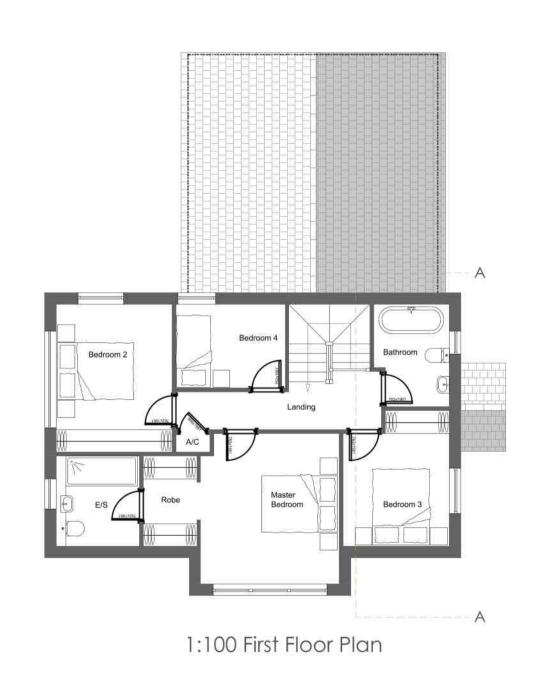


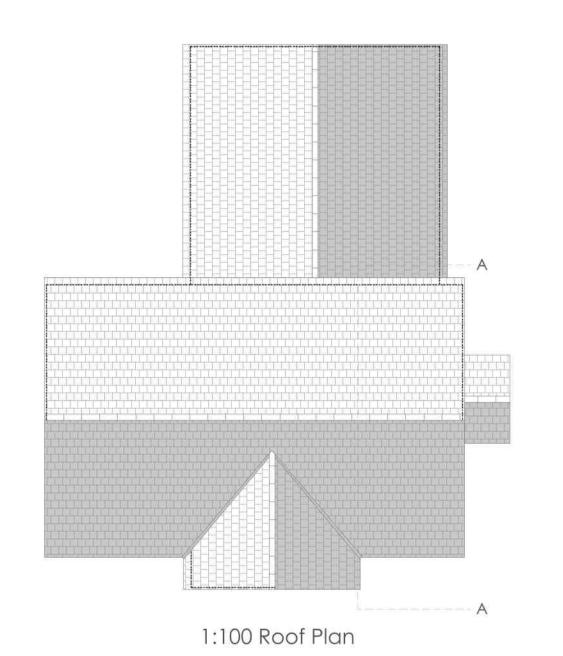


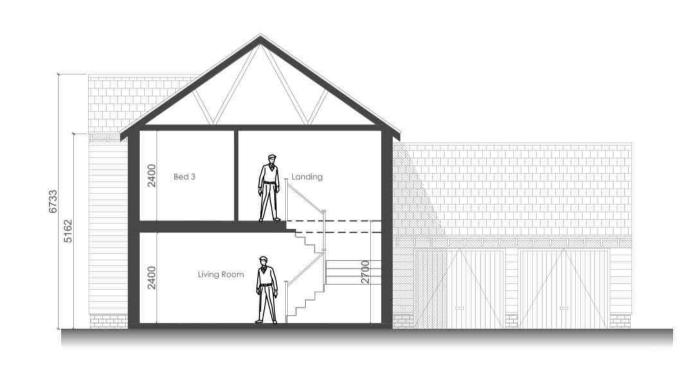
1:100 Front Elevation

1:100 Rear Elevation









1:100 Section A-A



1:100 @ A1

DWG. No. 2018.24.103

SCALE 1:100 (METRES) 5/2/19



5/2/19

Materials Legend:
Doors &Windows: Engineered timber or aluminium, colour, style tbc. stone sills where shown on elevations
Walls: Brickwork- mix of red multi and classic buff across the site Horizontal Boarding- colour/style tbc.
Roof: Mix of grey slate tiles and clay pan tiles across site, exact plots tbc.









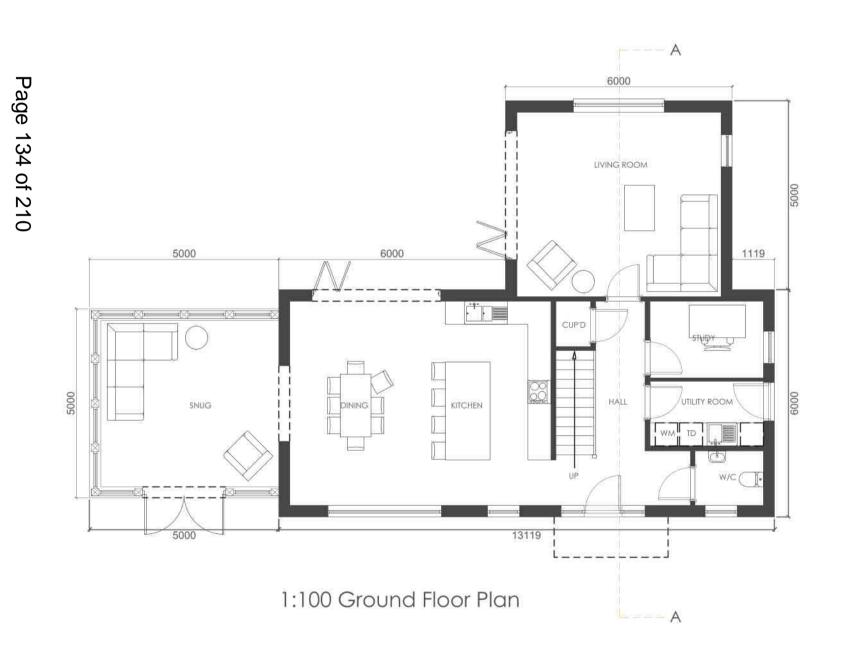
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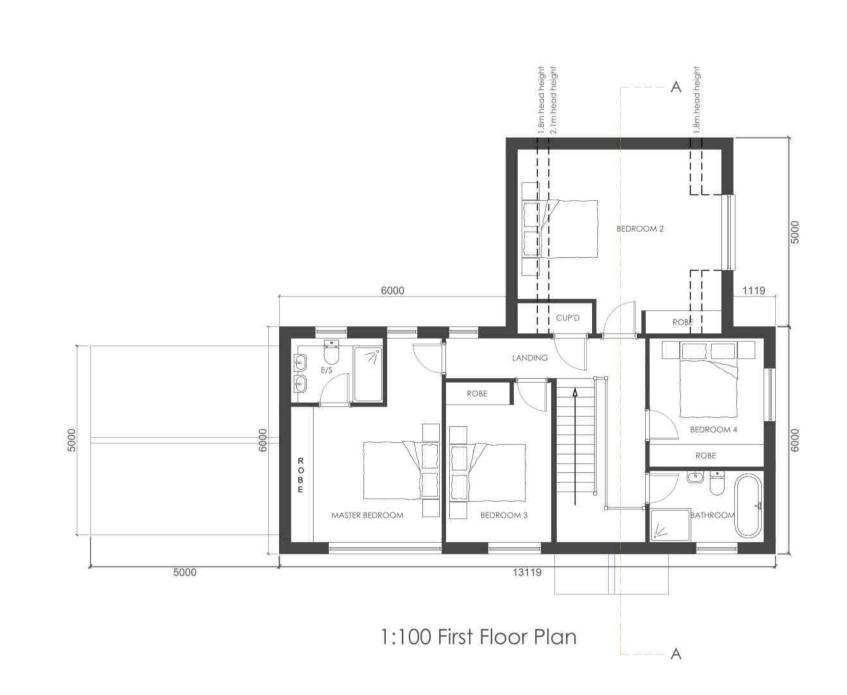
1:100 Side (North-east) Elevation

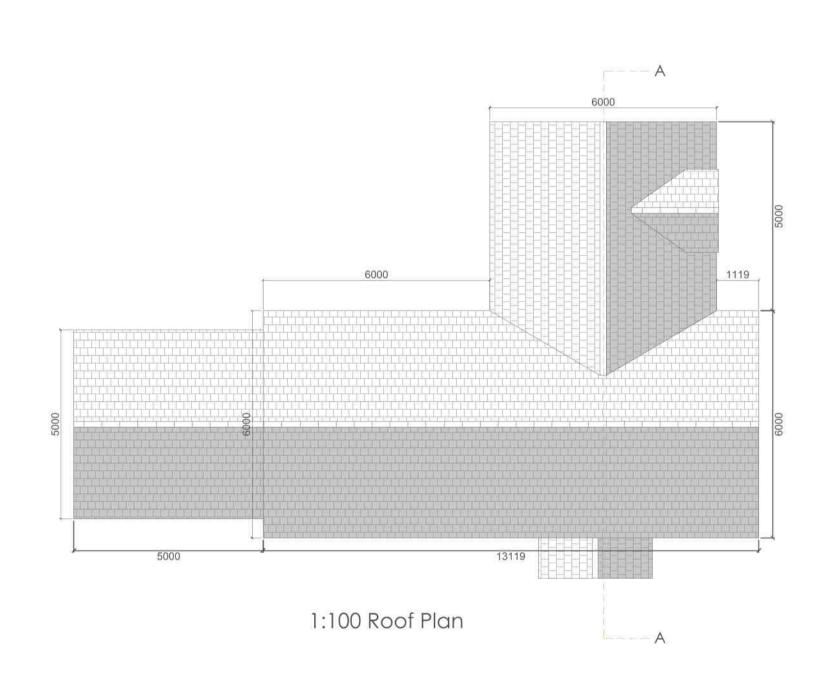
1:100 Rear (North-west)Elevation

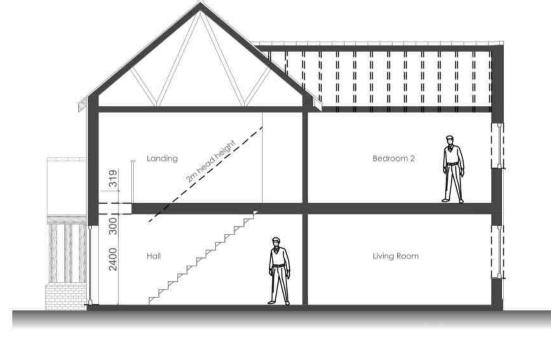
1:100 Side (South-west) Elevation

SCALE 1:100 (METRES)









1:100 Simple Section A-A

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Proposed Development Fenton Road, Fenton,

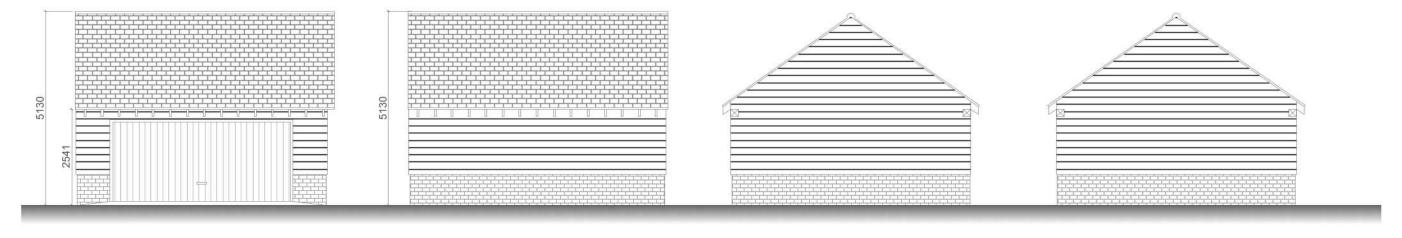
Warboys PE28 2SN

Mr Augstein

Proposed Plans & Elevations- Plot 4

1:100 @ A1
DWG. No.
2018.24.105 5/2/19

Garage Plans

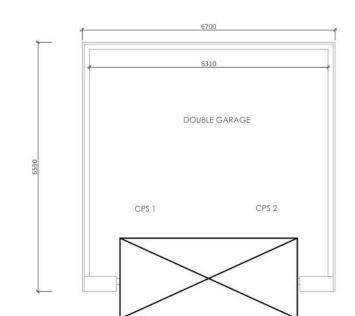


1:100 South East Elevation

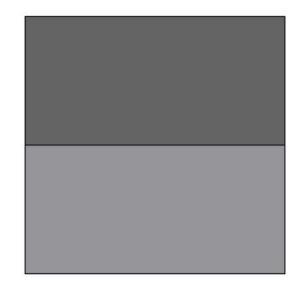
1:100 North West Elevation

1:100 North East Elevation

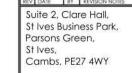
1:100 South West Elevation



1:100 Floor Plan



1:100 Roof Plan





PROJECT
Proposed Development
Fenton Road,
Fenton,
Warboys
PE28 2SN

Mr Augstein

Garage Plans- Plot 4

DRAWN BY	SCALE	
SD	1:100 @ A3	
DATE	DWG. No.	REV
5/2/19	2018.24.109	

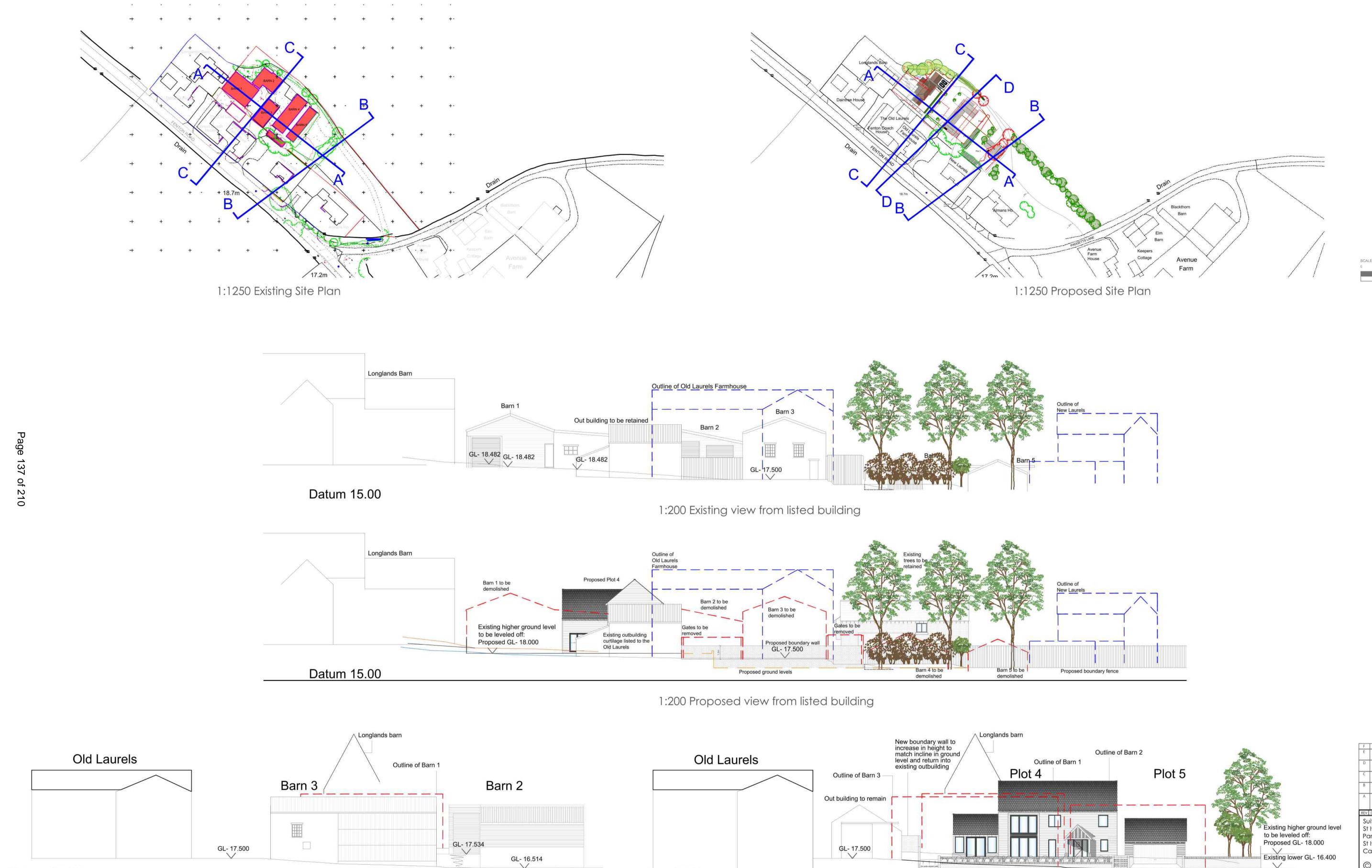
Page 135 of 210

1:1250, 1:200 @ A1

2018.24.107

06/02/20





Datum 15.00

New boundary wall-

1:200 Proposed Site Section C-C

Existing fall of land between barn 2 and 3

1:200 Existing Site Section C-C

Existing higher ground level to be leveled off:
Proposed GL- 18.000

Existing lower GL- 16.400

Existing lower GL- 18.000

Existing lower GL- 16.400

Existing lower GL- 18.000

Existing lower GL- 16.400

Existing lower GL- 18.000

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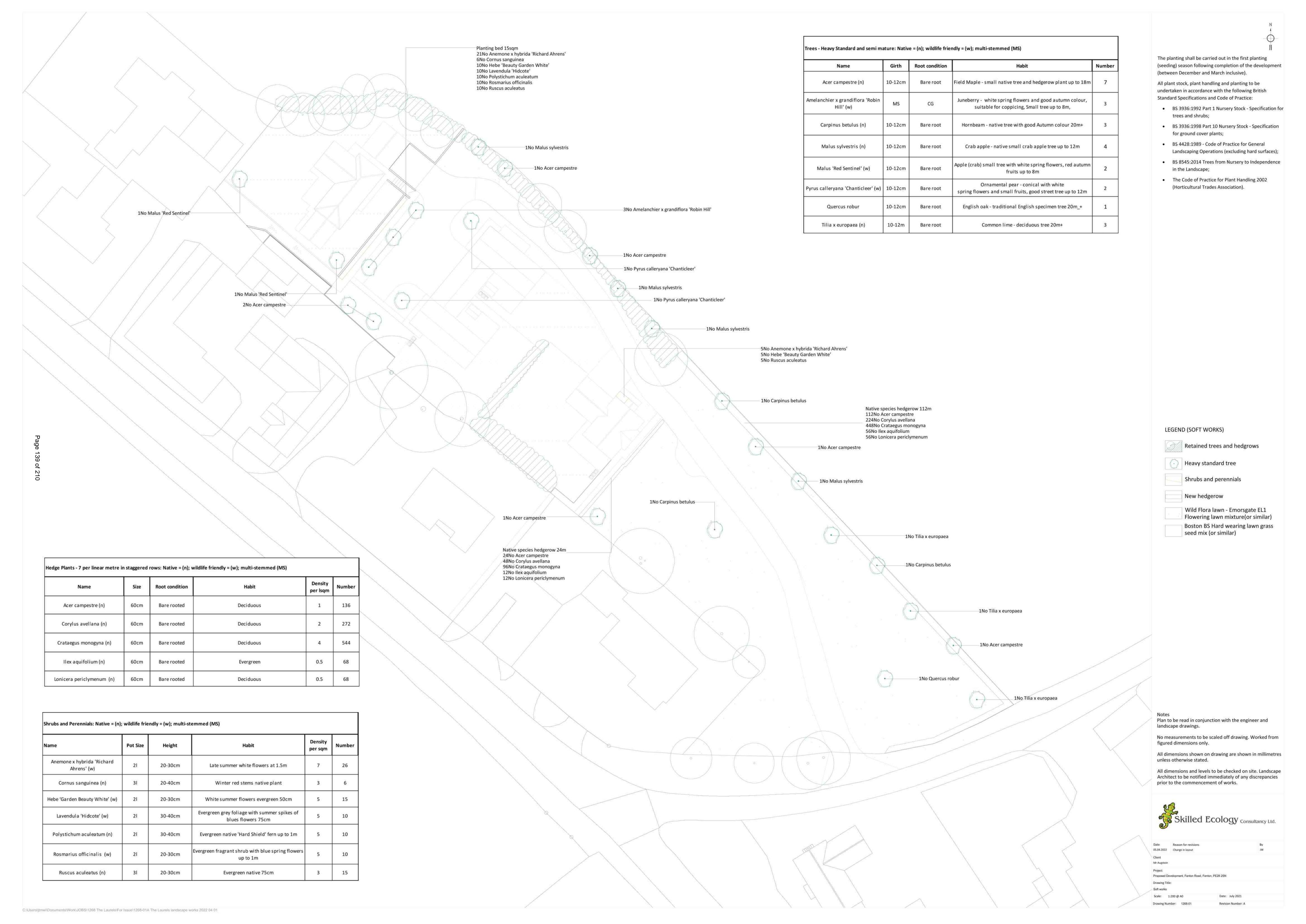
SCALE 1:200 (METRES)

0 5 10 15 20

Datum 15.00

— — Buildings to be demolished







DEVELOPMENT MANAGEMENT COMMITTEE 18th JULY 2022

Case No: 21/01287/REM (APPROVAL OF RESERVED

MATTERS)

Proposal: APPLICATION FOR APPROVAL OF RESERVED

MATTERS (ACCESS, APPEARANCE, LANDSCAPING, LAYOUT, SCALE), FOLLOWING OUTLINE APPROVAL REFERENCE 19/01782/OUT, FOR THE ERECTION OF 4

DWELLINGS.

Location: VERNON MOTORS WARBOYS ROAD PIDLEY PE28

3DA

Applicant: MR ROGER PAGET

Grid Ref: 533105 277953

Date of Registration: 29.07.2021

Parish: PIDLEY-CUM-FENTON

RECOMMENDATION - APPROVE

This application is referred to the Development Management Committee (DMC as Pidley Parish Council's recommendation of refusal is contrary to the Officer's recommendation of approval.

1. DESCRIPTION OF SITE AND APPLICATION

The site and surroundings

- 1.1 The application site which covers an area of approximately 0.36 hectares, is located on the site of the former Vernons Motors on the eastern edge of Pidley off the B1040. It is brownfield land and is positioned behind four existing dwellings that front the highway.
- 1.2 The land forming the application site comprises two existing redundant farm buildings and former garage which was used for the motor trade and associated hard standing. The site includes a number of trees and hedgerows around its perimeter other than where it shares a boundary with the newly constructed dwellings to the west and either side of the existing access track. To the north, east and south lies open countryside. A public right of way known as Drag Lane is located 75m to the east and connects Warboys Road to the south with Fen Road to the North.

- 1.3 The site does not lie within or adjacent to a Conservation Area and there are no other designated heritage assets that are considered to be impacted by the development.
- 1.4 The site lies within Flood Zone 1 as identified by the Huntingdonshire Strategic Flood Risk Assessment and the Environment Agency Maps for Flooding. The site is at risk of surface water flooding.
- 1.5 Vehicular access from Warboys Road is located between two new dwellings and the proposal seeks to formalise the existing access arrangement.

The Proposal

- 1.6 The current application seeks approval of reserved matters comprising, access, appearance, scale, layout and landscaping The development of the site has previously been subject to an outline planning application (ref. 19/01782/OUT), approved under delegated powers on 6th March 2020. 13 conditions were attached for a development of up to 6 dwellings with all matters reserved.
- 1.7 Access is proposed from Warboys Road via the existing access which will be improved and formalised as part of the development.
- 1.8 The current application seeks approval of a scheme for 4 dwellings each with five bedrooms, garden area, parking and integral garaging. The reserved matters application seeks to discharge planning condition 3 (approval of reserved matters) and condition 10 (mix and type of houses) of the outline planning permission.
- 1.9 The proposal has been amended during the lifetime of the application in response to negotiations with Officers and to address consultee comments, including those of the Parish Council. These changes have resulted in the following main amendments:
 - Site layout
 - Design of the proposed dwellings
 - Landscaping details
 - The retention of more of the existing trees on the site
 - Reducing the extent of the development to be within the site, as approved by the outline planning permission.

2. NATIONAL GUIDANCE

2.1 The National Planning Policy Framework (20th July 2021) (NPPF 2021) sets out the three objectives - economic, social and

environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2021 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'

- 2.2 The NPPF 2021 sets out the Government's planning policies for (amongst other things):
 - delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment
- 2.3 Planning Practice Guidance and the National Design Guide are also relevant and materials considerations.

For full details visit the government website National Guidance

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
 - LP1 Amount of Development
 - LP2 Strategy for Development
 - LP4 Contributing to infrastructure delivery
 - LP5 Flood Risk
 - LP6 Wastewater Management
 - LP9 Small settlements
 - LP11 Design Context
 - LP12 Design implementation
 - LP13 Place making
 - LP14 Amenity
 - LP15 Surface water
 - LP16 Sustainable travel
 - LP17 Parking and vehicle movement
 - LP25 Housing Mix
 - LP30 Biodiversity and geodiversity
 - LP31 Trees, woodland, hedges and hedgerows
- 3.2 Supplementary Planning Guidance
 - Huntingdonshire Design Guide (2017) including:
 - 1 Introduction:
 - 1.6 Design principles
 - 2.1 Context and local distinctiveness
 - 2.5 Landscape character areas
 - 2.7 Architectural character
 - 3.5 Parking/ servicing
 - 3.6 Landscape and Public Realm
 - 3.7 Building Form
 - 3.8 Building Detailing

- 4.1 Implementation
- Developer Contributions SPD (2011)
- Huntingdonshire Townscape and Landscape Assessment SPD (2022)
- Cambridgeshire Flood and Water SPD 2017
- Huntingdonshire Tree Guidance Note 3
- Annual Monitoring Report Part 1 (Housing) 2019/2020 (October 2020)
- ECAP CCC Waste Management Design Guide (CCC SPD) 2012

Local For full details visit the government website Local policies

4. PLANNING HISTORY

- 4.1 1200279FUL Erection of 2 detached dwellings and garages Approved April 2012
- 4.2 18/01265/S73 Variation of condition 2 of application 1200279FUL Proposed alterations including adding a first-floor extension to Plot 1 Approved August 2018
- 4.3 19/01782/OUT Erection of up to six dwellings Approved 6 March 2020
- 4.4 21/80125/COND Conditional information for 19/01782/OUT: C3 (Details Reserved (All Reserved)), C6 (Provision of Parking/Turning Cycle Space), C7 (Levels), C13 (Protect of Trees/Hedges during work) Pending Consideration

5. CONSULTATIONS

- 5.1 Pidley cum Fenton Parish Council Recommends refusal on the following grounds:
 - The volume of trees already removed and proposed to be removed. This was upsetting and felt unnecessary by the councillors. They would like to see the current eco system maintained and enhanced. The trees proposed in the application were not appropriate due to the clay soil and surroundings. It was felt that hawthorns or similar would be more appropriate.
 - It was also felt that the size of the newly proposed houses would make the area overdeveloped and that the village would benefit from smaller houses such as 3-4 bedrooms so that they are more affordable.
 - There were still concerns with the flooding in this area as the neighbour currently has to pump the water out of their garden continuously.

- 5.2 Cambridgeshire County Council Highways The proposal is unlikely to have any adverse effect on the public highway should planning permission be approved. Conditions are recommended.
- 5.3 Environment Agency confirms that there are no environmental constraints associated with the site and therefore has no comments to make.
- 5.4 HDC Trees and Landscape no objection following the receipt of amended plans.
- 5.5 HDC Urban Design Officer no objection following the receipt of amended plans.
- 5.6 Local Lead Flood Authority response awaited.

6. REPRESENTATIONS

- 6.1 The occupiers of 7 neighbouring properties have been notified of the application.
- 6.2 1 letter of objection has been received from a neighbouring property raising the following concerns:
 - Access road is narrow and will not allow cars to pass and increase danger to highway safety
 - Some window openings are too large and out of keeping
 - The proposal contains little or no replacement trees
 - Plot 4 is built very close to the edge of the site and will result in loss of privacy from bedroom windows
 - Outline permission was granted for 6 smaller properties and as such the reserved matters does not comply with the outline permission
 - Larger properties proposed are out of keeping with the village
 - The proposal does not provide any affordable housing contrary to Policy LP24
- 6.3 Following further consultation with the objector, the following additional comments were received:
 - Welcomes changes to plans which address overlooking concerns
 - Uncertainty over method to dispose of surface water and requests drainage strategy is made public
- 6.4 1 letter of support has been received on the following grounds:
 - The development will make a positive aesthetic impact on the area and provide much needed housing. We support the application wholeheartedly.

7. ASSESSMENT

- 7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.
- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2021). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".
- 7.3 In Huntingdonshire the Development Plan consists of:
 - Huntingdonshire's Local Plan to 2036 (2019)
 - Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021)
 - St Neots Neighbourhood Plan 2014-2029
 - Godmanchester Neighbourhood Plan (2017)
 - Houghton and Wyton Neighbourhood Plan (2018)
 - Huntingdon Neighbourhood Plan (2019)
 - Buckden Neighbourhood Plan (2021)
 - Bury Neighbourhood Plan (2021)
- 7.4 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.
- 7.5 The main issues to consider in the determination of this reserved matters application are:
 - The Principle of Development
 - Impact upon the Character of the Area, including Appearance, Scale, Layout and Landscaping
 - Residential Amenity
 - Highway Safety and Parking
 - Biodiversity
 - Trees
 - Flooding and Drainage

Principle of Development

- 7.6 In planning policy terms, Policy LP9 of the Huntingdonshire Local Plan identifies Pidley as a Small Settlement. Development proposals which are located within this type of settlement will be supported where the amount and location of the development is considered to be sustainable.
- 7.7 The principle of residential development on the application site has already been established through the granting of outline permission 19/01782/OUT, having been previously assessed against Policy LP9.
- 7.8 The application was accompanied by an illustrative masterplan which demonstrated how the development could be arranged within the site in order to accommodate this number of dwellings.
- 7.9 This current reserved matters application is for 4 dwellings only and, therefore, accords with the outline planning permission which is for a maximum of 6 dwellings. An assessment of the detailed issues for consideration is set out below.

Impact on the Character of the Area including Appearance, Scale, Layout and Landscaping

- 7.10 Policy LP11 of the Huntingdonshire Local Plan to 2036 requires new development to respond positively to its context. Policy LP12 requires new development to contribute positively to the area's character and identity and to successfully integrate with adjoining buildings.
- 7.11 Paragraph 130 of the NPPF 2021 states that planning policies and decisions should ensure that developments:
 - a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
 - b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
 - c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
 - d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit
 - e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development, including green and other public space, and support local facilities and transport networks; and

- f) create spaces that are safe, inclusive and accessible and that promote health and well-being, with a high standard of amenity for existing and future users.
- 7.12 Paragraph 40 of the National Design Guide 2019 states that development should respond positively to the features of the site itself and the surrounding context, including form and local character
- 7.13 The outline permission does not place any specific restrictions on the reserved matters in terms of its layout, scale and appearance and therefore the proposals falls to be considered under the requirements of the above mentioned policies and guidance. The description of development as approved as part of the outline permission included the term "up to six dwellings" to provide flexibility at the reserved matters stage as concerns were raised over the density of 6 dwellings as shown on the indicative layout plan submitted as part of the outline application. Condition 13 of the outline planning permission requires that the trees on site are retained unless otherwise agreed with the local planning authority, i.e. through the approval of the reserved matters.
- 7.14 The scale, appearance and landscaping of the proposed dwellings is traditional and has been improved during the lifetime of the application through consultation with the Council's Urban Design and Trees and Landscape Officers and the scheme has been amended to take account of the comments provided by these consultees. Most of the detailed comments of the Urban Design Officer and the Trees and Landscape Officer have been implemented, to include reducing the dominance of parked cars within the central courtyard and maintain attractive vistas into and out of the site, such that the scheme delivers a development that is considered to be of an appropriately high standard of design.
- 7.15 The development as proposed is laid out in a courtyard style reflective of the sites agricultural history and the relatively rural character of the area. The dwellings are all 1.5 storevs in scale to limit visual impact beyond the site boundaries with the use of a mix of materials consisting of rustic blend brick, brown pantile, timber cladding and fenestration. The mix of materials is considered to successfully break up the mass of the individual units and to give the appearance of an evolved authentic style of architecture reflecting the barn-like appearance of the proposed dwellings. Having regard for the eclectic mix of styles and periods of architecture in this part of the village it is considered that the layout, scale and appearance of the proposed development responds appropriately to the site and to neighbouring development and it is considered that the development would contribute positively to the area's character and identity and enhance an otherwise redundant brownfield site adjacent to existing residential properties.

- 7.16 The application is supported by a scheme of hard and soft landscaping, including details of planting, boundary treatments and hard surface treatments. 1.8m close board fencing is proposed for security between the different units but post and rail fencing is proposed on the site edges to provide a softer edge between the development boundary and the open countryside beyond. It is recommended that permitted development rights are removed for means of enclosure to prevent the erection of other boundary treatments on the sensitive site boundaries and encourage residents to manage and maintain the existing and proposed boundary planting.
- 7.17 Subject to this condition and a condition that requires the implementation of the approved landscaping, it is considered that the proposed development would contribute positively to the area's character and identity and would not have any significant adverse effect on visual amenity. Subject to the imposition of conditions referred to above, it is considered that the proposed development would accord with Policies LP11 and LP12 of the Local Plan to 2036, section 3.7 of the Huntingdonshire Design Guide 2017, paragraphs 127 and 130 of the NPPF, as well as the relevant paragraphs of the National Design Guide 2019.

Residential Amenity

- 7.18 Policy LP14 of the Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 7.19 The NPPF, at paragraph 127 states that decisions should ensure that developments should create places with a high standard of amenity for existing and future users.
- 7.20 The nearest residential neighbours are those that front Warboys Road to the west of the site. Officers have fully assessed the impact of the development with regards to amenity, including matters of overlooking, overshadowing, overbearing impact and loss of privacy relating to existing residents. The scheme has been amended in response to concerns raised by a neighbouring occupier in regard to privacy and the neighbour has subsequently confirmed that their concerns with overlooking from plot 4 have been satisfactorily addressed
- 7.21 The layout, interface distances and existing and proposed boundary treatments, as set out above, are such that it is not considered that the proposed development would give rise to any significant loss of amenity to any neighbouring occupiers and that the future occupiers of the proposed development would enjoy a high standard of amenity. The proposed dwellings also

- achieves good levels of surveillance over the central courtyard and parking areas.
- 7.22 It is considered that the development of four 4 dwellings represents an appropriate number and density in order to satisfy the requirements of Policy LP14 and there are no concerns with regard to overbearing, overshadowing or overlooking as a result of the proposed development, for the reasons set out in detail above.
- 7.23 The proposal is therefore considered to accord with the NPPF, and Policy LP14 of the Huntingdonshire's Local Plan to 2036 in respect of residential amenity.

Highway Safety and Parking

- Access serving the site is taken from Warboys Road. Access was not approved at outline stage but given the site constraints and lack of any other suitable alternative access location, the access as now proposed was shown on indicative site layout plan considered by the Local Planning and Highway Authorities during the course of outline planning application. The internal road arrangement is as envisaged at outline stage albeit with a fewer number of dwellings providing more space for vehicle parking and turning. An objection has been raised by a local resident on grounds that the access is narrow and would not allow for 2 cars to pass potentially resulting in a risk to highway safety. The access width is 6m with a roadway reducing to 5m. Given the low number of dwellings served by the proposed access and the nature of the highway network in and around the site, it is not considered that the design of the access would cause unacceptable harm to highway safety having regard for paragraph 111 of the National Planning Policy Framework 2021. In this regard the Cambridgeshire County Council as the Local Highway Authority (LHA) has raised no objections to the proposal. Additional conditions have been recommended to restrict the provision of gates across the access, the provision of parking and turning areas, provision of visibility splays, means to prevent surface water running on to the highway and hard surfacing to be provided along the access. These conditions are considered reasonable and necessary with the exception of requiring the provision of parking and turning areas, as such provision is already in place and enforceable by condition 6 of the outline planning permission.
- 7.25 Parking spaces for vehicles are located close to the residents' homes encouraging their use. Most parking spaces are provided on driveways to the fronts of homes and under integrated car ports, helping screen them in views so that shared courtyard appears less cluttered and dominated by vehicles. All dwellings have a secure garage for cycle storage in addition to three

- parking spaces in accordance with Policy LP17 of the Local Plan. The level of parking provision is considered to be acceptable.
- 7.26 The internal arrangement of the site has been reviewed by the LHA and the HDC Operations Team. These consultees have confirmed that the proposed arrangement is acceptable in highway safety terms and that the proposed road layout would enable a refuse freighter to service the site satisfactorily and that bin collection points are acceptable.
- 7.27 Given the scale and use of the proposed development and the favourable consultation comments received by the LHA, Officers are satisfied the proposal is acceptable with regards to highway safety and parking provision. The application therefore complies with Policy LP17 of the Huntingdonshire Local Plan to 2036 as the access roads would provide appropriate space for vehicular movements within the site, provide for sufficient parking and would take into account highway safety when entering or leaving the site and within the site.

Biodiversity and Trees

- 7.28 Policy LP30 of the Local Plan states that a proposal will ensure no net loss of biodiversity and provide a net gain where possible, through the planning retention, enhancement and creation of habitats and wildlife features, appropriate to the scale, type and location of development.
- 7.29 The outline application was supported by a Preliminary Ecological Appraisal (PEA) by Applied Ecology Ltd. The Wildlife Trust reviewed this and advised that the PEA identified no significant constraints to development and has made suitable mitigation enhancement recommendations. and implementation of these recommendations are not required by way of a suitably worded planning condition nor is the PEA listed as an approved document on the outline planning permission. Notwithstanding this, the proposed development would incorporate the retention of trees and hedgerows and see the planting of new native species. Overall, and subject to a condition to be imposed that requires details of ecological mitigation measures to be submitted, approved and installed prior to occupation, it is considered that the proposed landscaping and layout is in accordance with Policy LP30 of Huntingdonshire's Local Plan to 2036 and the NPPF (2021) and would avoid a net loss in biodiversity.
- 7.30 No details of existing trees were submitted with the outline application. It was considered that the existing trees and hedges should be retained to help integrate the development into the surrounding locality and to protect the amenities of nearby occupants which help to screen the development. A condition was imposed on the outline planning permission to retain the

trees on the site, unless otherwise agreed in writing and provide a tree constraints/protection plan and a full tree survey. An Arboriculture Impact Assessment has been submitted as part of the reserved matters application which sets out that 6 trees will be removed to facilitate the proposed development. Subject to the approved re-panting proposals being implemented, this is considered acceptable and there is no objection from the Councils Landscape Officer to the loss of these trees. The details submitted in this regard partially discharge the requirements of condition 13, although the tree protection details remain to be approved and are currently subject to a separate discharge of condition application 21/80125/COND.

7.31 Overall, and subject to conditions, it is considered that the proposal is in accordance with Policy LP30 Biodiversity and Geodiversity and LP31 Trees, woodland and hedgerows.

Flood Risk and Drainage

- 7.32 The application site is in Flood Zone 1 so is in an area at the least risk of flooding and does not lie within any flood plain. The site is acknowledged to be in area at risk of surface water flooding. Concerns have been raised by a nearby resident that the development will result in increased risk of surface water flooding to their property.
- 7.33 Conditions 4 of the outline planning permission requires the surface and foul water drainage scheme for the site to be submitted and approved before any development commences and constructed prior to occupation. Concern has been raised by the Parish Council and a resident that the scheme for the disposal of surface water is unknown and requests that it be made available as part of the reserved matters application. Notwithstanding that the drainage design would be subject to building regulations approval, the applicant is required by condition to submit such details for approval prior to the commencement of development. It is not considered that the development is of such a layout or density that an appropriate drainage scheme could not be forthcoming via the separate discharge of conditions process which could seek to create betterment in terms of surface water management compared to the existing situation.
- 7.34 The Lead Local Flood Authority (LLFA) has been consulted on the application and has so far not provided a response.
- 7.35 It is considered therefore that the reserved matters deal appropriately with the flood risks and drainage of the site in accordance with the requirements of Policy LP5 of the Huntingdonshire Local Plan to 2036. Condition 4 of the outline planning permission remains to be discharged.

Community Infrastructure Levy (CIL):

- 7.36 The development will be CIL liable in accordance with the Council's adopted charging schedule; CIL payments will cover footpaths and access, health, community facilities, libraries and lifelong learning and education. A signed Unilateral Undertaking was secured as part of the outline planning permission for the payment of refuse bins.
- 7.37 The proposals are therefore in compliance with Policy LP4 of the Huntingdonshire Local Plan to 2036 (2019).

Other Matters

Accessible and Adaptable Homes

- 7.38 The requirements within Policy LP25 of Huntingdonshire's Local Plan relating to accessible and adaptable homes are applicable to all new dwellings. This states that all dwellings should meet Regulation requirement M4(2) 'accessible adaptable dwellings' and that for all affordable housing an appropriate proportion should meet Building Regulation requirement M4(3) 'wheelchair adaptable dwellings'. These include design features that enable mainstream housing to be flexible enough to meet the current and future needs of most households, including in particular older people and those with some disabilities, and also families with young children.
- 7.39 The outline planning application was determined with a condition requiring compliance with this policy. As such, there is a requirement for this scheme to provide dwellings in accordance with optional Building Regulation requirement M4(2) 'accessible and adaptable homes'. The applicant's agent has confirmed via the Design and Access Statement that the submitted house types accord with the requirements of this condition.

Water Efficiency

- 7.40 Policy LP12 of the Local Plan to 2036 requires proposals that include housing to comply with the optional building regulation for water efficiency, as set out in Approved Document G.
- 7.41 Condition 11 of the outline planning permission requires that proposed residential dwelling(s) hereby approved shall be constructed and fitted out to comply with the Building Regulations 2010 (as amended) optional requirement for water efficiency, as set out in Approved Document G prior to first occupation. The applicant's agent has confirmed that all dwellings have been designed to maximise their integral energy efficiency in terms of water efficiency measures to reduce water usage and it remains for the development to be completed and retained in compliance with this condition.

CONCLUSION

- 7.42 The principle of development on this site for up to 6 dwellings was established at outline stage. This application for a total of 4 dwellings deals with the details of the access, layout, scale, appearance and landscaping. These details have been found to be satisfactory, subject to conditions, in accordance with the requirements of both local and national planning policy and the proposal creates a development which responds to the opportunities and constraints of the site and relevant planning policies and the principles of the outline planning permission.
- 7.43 Having regard to all relevant material considerations, it is recommended that approval be granted for the reserved matters approval for 4 dwellings to include for details of layout, scale, appearance and landscaping subject to the imposition of appropriate conditions. The requirements of conditions 3 (approval of reserved matters) and condition 10 (mix and type of houses) have been satisfied and discharged by the submission of the reserved matters application. All other conditions imposed on the outline planning permission, in addition to those recommended below remain to be discharged or complied with.

8. RECOMMENDATION - APPROVAL subject to conditions to include the following

- Approved plans
- Materials
- · Implementation of landscaping
- Ecological mitigation specification/details
- Restrict the provision of gates across the access
- Provision of visibility splays
- Means to prevent surface water running on to the highway
- Hard surfacing to be provided along the access
- Remove Permitted Development (PD) rights for fences/means of enclosure
- Remove PD rights for additional hardstanding to dwellings
- Provision and retention of boundary treatments
- Provision and retention of cycle parking
- Details of bin storage and presentation areas

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CONTACT OFFICER:

Enquiries about this report to **Lewis Marshall Senior Development**Management Officer – lewismarshall@huntingdonshire.gov.uk

From: Louise Clowery <clerk@pidleycumfenton-pc.gov.uk>

Sent: 17 August 2021 11:33

To: DMAdmin

Subject: Re: Planning Permission Consultation - Vernon Motors Warboys Road Pidley (ref

21/01287/REM)

Hi,

This was rejected by all of our councillors with one abstaining due to a pecuniary interest for the following reasons:

- Overdevelopment
- Access concerns generally and with respect to the emergency services turning circle that is referenced in the application.
- If there is a risk of flooding, we should remind the local planning authority of its responsibilities under paragraph 103 of the NPPF: this applies to <u>all</u> forms of flood risk, and that planning applications for development in flood risk areas (which includes areas at risk from surface water flooding) <u>must</u> be accompanied by a flood risk assessment (NPPF footnote 20 to paragraph 103).

As well as pointing out the risk we can use other councillors suggestions to improve the development and make it safer and more sustainable. For example, integrated water management: and also the information on sustainable drainage

- The proposal contradicts the following in the Huntingdonshire Local Plan (to 2036).
 - LP2 Strategy for Development
 - Does not provide opportunities for communities to achieve local development aspirations for housing, employment, commercial or community related schemes.
 - Does not Protect the character of existing settlements and recognise the intrinsic character and beauty of the surrounding countryside;
 - o Does not Provide complementary green infrastructure enhancement and provision to balance recreational and biodiversity needs and to support climate change adaptation.
 - LP4 Contributing to Infrastructure Levy
 - While there will be CIL payments to be made for the development there is concern about drainage and flood prevention and protection, especially given the concerns from neighbouring properties and the sewerage issues witnessed and recorded on several occasions in the village
 - LP5 Flood Risk
 - The surrounding areas of the site regularly flood. It is believed that the additional hard paving although permeable would represent an increased risk of water being unable to run-off. Attenuation solutions or settling ponds should be considered. 4.66 of the Local Plan states; The National Planning Policy Framework sets strict tests to protect people and property from flooding. Where these tests are not met, national policy is clear that new development should not be allowed. The main steps to be followed are set out in the NPPG and are designed to ensure that if there are better sites in terms of flood risk, or a proposed development cannot be made safe, it should not be permitted.

4.68 States; In situations where there is a risk of flooding from any source, including from surface and groundwater, there are critical drainage problems or the sites is 1 hectare or more a site-specific flood risk assessment is required. There is national guidance on the level of detail to be included in a site-specific flood risk assessment contained in the NPPG, which is expanded upon and given local context in the Cambridgeshire Flood and Water SPD. Further requirements may be required by the Environment Agency or by the Middle Level Commissioners or other Internal Drainage Boards if the site is within the area they manage.

• LP6 Waste Water Management

 There are concerns in the Parish that the increase in the volume of property in one single location would over-burden the already failing sewage solution for the village.
 There should be full and substantiated evidence that the connection to the mains drains will not cause detriment to the existing, 'at capacity' system.

4.85 Built up areas definition

 Allows for individual plots and minor scale development. Not since the formation of Pond Close (circa 1940's) has there been a development of this scale. It is not believed to be in keeping with the character of the village in its size and as a gated community.

LP7 Spatial Planning

A proposal will be supported where it will not undermine the role of the primary settlement within the Spatial Planning Area or adversely affect the relationship between the settlements of the Spatial Planning Area whether this is through its scale or other impacts. We do not believe that the development meets this criteria.

LP9 Small Settlements

The development contravenes most of the requirements of the plan but particularly 4.102 which is extracted here with points highlighted in bold; The potential benefits of promoting some growth within Small Settlements include helping to create a more balanced and diverse local population; enabling young people to stay in the communities they grew up in; and providing opportunities for older people seeking to move into more accessible housing within the community. It can also help sustain the available services and facilities by maintaining population numbers helping to address the particular challenge of declining rural populations relating to falling household sizes. Growth can help support a living, working countryside capable of adapting to changing needs. Development in Small Settlements will typically comprise smaller sites providing a range of opportunities for small builders and those wishing to build or commission their own homes.

• Section C Development Management

- There are concerns with several elements of C.2 as highlighted below;
 - **Overlooking/loss of privacy** There are properties who's immediate privacy would be compromised by the proposal
 - Loss of light or overshadowing
 - Parking
 - Highway safety The entrance to the proposed development is at a pinch point in the existing highway on Warboys road. The increased volume of traffic in and out would cause further hindrance
 - Traffic

- Noise
- Effect on listed building and conservation area
- Layout and density of building This is a development in excess of the previous planning submission by overall volume
- Design, appearance and materials
- Government policy Please refer to policy points outlined above
- Disabled persons' access
- Proposals in the Development Plan
- Previous planning decisions (including appeal decisions) note that the previous outline was for 6 dwellings of smaller size which would be more appealing to younger residents as noted in LP9 of the Local Plan
- Nature conservation

It was asked that if this does go to Development control, can we have District Councillor representation?

Kind regards

Louise

Louise Clowery Clerk to Pidley cum Fenton Parish Council 07907 339 077 or 01487 500 115

On 2021-07-30 12:04, Dmadmin@huntingdonshire.gov.uk wrote:

Dear Parish Clerk,

Please find correspondence from Development Management at Huntingdonshire District Council attached to this email in relation to the following application for planning permission.

Proposal: Application for approval of reserved matters (Access, Appearance, Landscaping, Layout, Scale) following outline approval reference 19/01782/OUT for the erection of 6 dwellings.

Site Address: Vernon Motors Warboys Road Pidley

Reference: 21/01287/REM

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If you have any doubts or concerns relating to this email please contact us directly, our contact details are provided below.

Development Management Huntingdonshire District Council

T: 01480 388388

E: dmadmin@huntingdonshire.gov.uk

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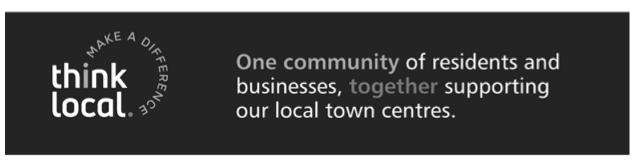
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From: Sent: To: Cc: Subject:	Louise Clowery <clerk@pidleycumfenton-pc.gov.uk> 13 February 2022 21:23 Tim Hartley Control, Development (Planning) Re: Planning Permission Consultation - Vernon Motors Warboys Road Pidley (ref 21/01287/REM)</clerk@pidleycumfenton-pc.gov.uk>
Hi Tim,	
Please see below the response	e from the council in our meeting on Wednesday:
This was discussed in great de	etail and ended up being rejected due to the following:
unnecessary by the councillors enhanced. The trees proposed	emoved and proposed to be removed. This was upsetting and felt so. They would like to see the current eco system maintained and in the application were not appropriate due to the clay soil and hawthorns or similar would be more appropriate.
	the newly proposed houses would make the area overdeveloped and from smaller houses such as 3-4 bedrooms so that they are more
There were still concerns with water out of their garden cont	the flooding in this area as the neighbour currently has to pump the inuously.
Kind regards	
Louise	
Louise Clowery Clerk to Pidley cum Fentor 07907 339 077 or 01487 500	
On 2022-01-21 15:10, Tim Ha	artley wrote:
Hi Louise	
That extension of time is fine	
Many thanks	
Tim	

Tim Hartley
Development Management Team Leader (South)
Development Services
Tel: 07514 621803
From: Control, Development (Planning) <development.control@huntingdonshire.gov.uk> Sent: 21 January 2022 14:56 To: Tim Hartley <tim.hartley@huntingdonshire.gov.uk> Subject: FW: Planning Permission Consultation - Vernon Motors Warboys Road Pidley (ref 21/01287/REM)</tim.hartley@huntingdonshire.gov.uk></development.control@huntingdonshire.gov.uk>
Hi Tim
Please see PC EOT request below for one of your apps.
Thanks Kev
Kevin Simpson
Development Management Officer
Development Services
Corporate Delivery
Huntingdonshire District Council
01480 388424 (Planning Customer Services - not direct dial)
07547 671902 (Mobile Telephone)
kevin.simpson@huntingdonshire.gov.uk
Please visit the Planning Pages of our new website at http://www.huntingdonshire.gov.uk/planning for all planning related enquiries, including

full details of the pre-application services we are providing.

Any comments represent the informal opinion of an officer of Huntingdonshire District Council. These comments are made without prejudice to any eventual determination through the planning process.









From: DMAdmin < <u>Development.ManagementAdmin@huntingdonshire.gov.uk</u>>

Sent: 21 January 2022 11:34

To: DevelopmentControl < DevelopmentControl@huntingdonshire.gov.uk >

Subject: FW: Planning Permission Consultation - Vernon Motors Warboys Road Pidley (ref

21/01287/REM)

From: Louise Clowery <<u>clerk@pidleycumfenton-pc.gov.uk</u>>

Sent: 21 January 2022 11:04

To: DMAdmin < Development.ManagementAdmin@huntingdonshire.gov.uk >

Subject: Re: Planning Permission Consultation - Vernon Motors Warboys Road Pidley (ref

21/01287/REM)

Hi,

Our next parish meeting is the 9th February. Are we able to get an extension until the 10th to get a response to you please.

Kind regards

Louise

Louise Clowery Clerk to Pidley cum Fenton Parish Council 07907 339 077 or 01487 500 115

On 2022-01-21 07:55, Dmadmin@huntingdonshire.gov.uk wrote:

Dear Parish Clerk,

Please find correspondence from Development Management at Huntingdonshire District Council attached to this email in relation to the following application for planning permission.

Proposal: Application for approval of reserved matters (Access, Appearance, Landscaping, Layout, Scale), following outline approval reference 19/01782/OUT, for the erection of 4 dwellings.

Site Address: Vernon Motors Warboys Road Pidley

Reference: 21/01287/REM

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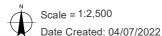
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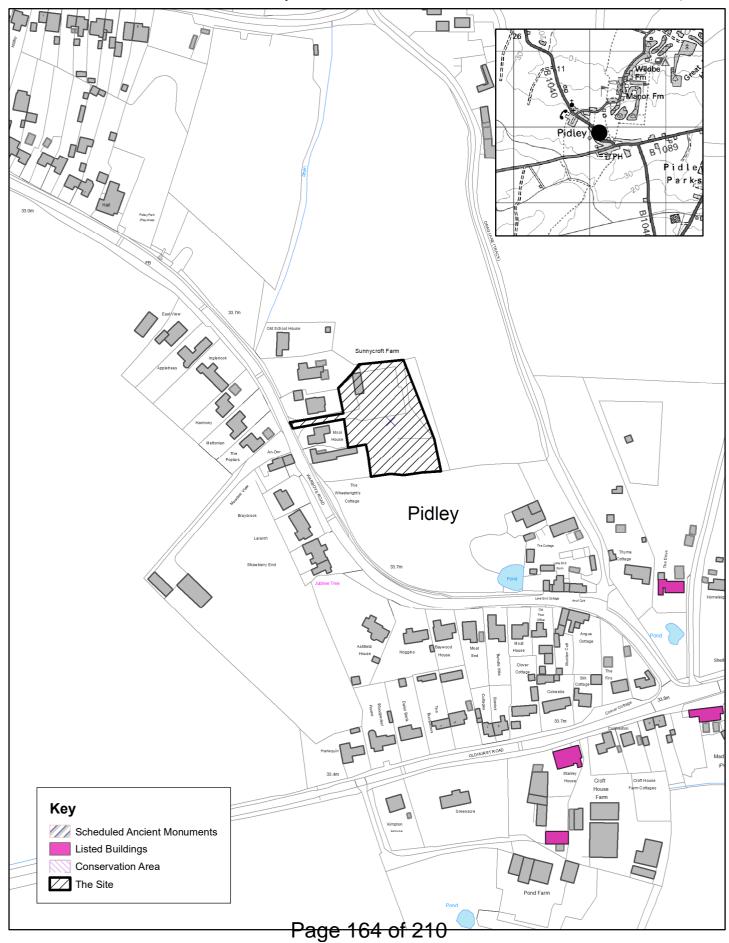
Development Management Committee

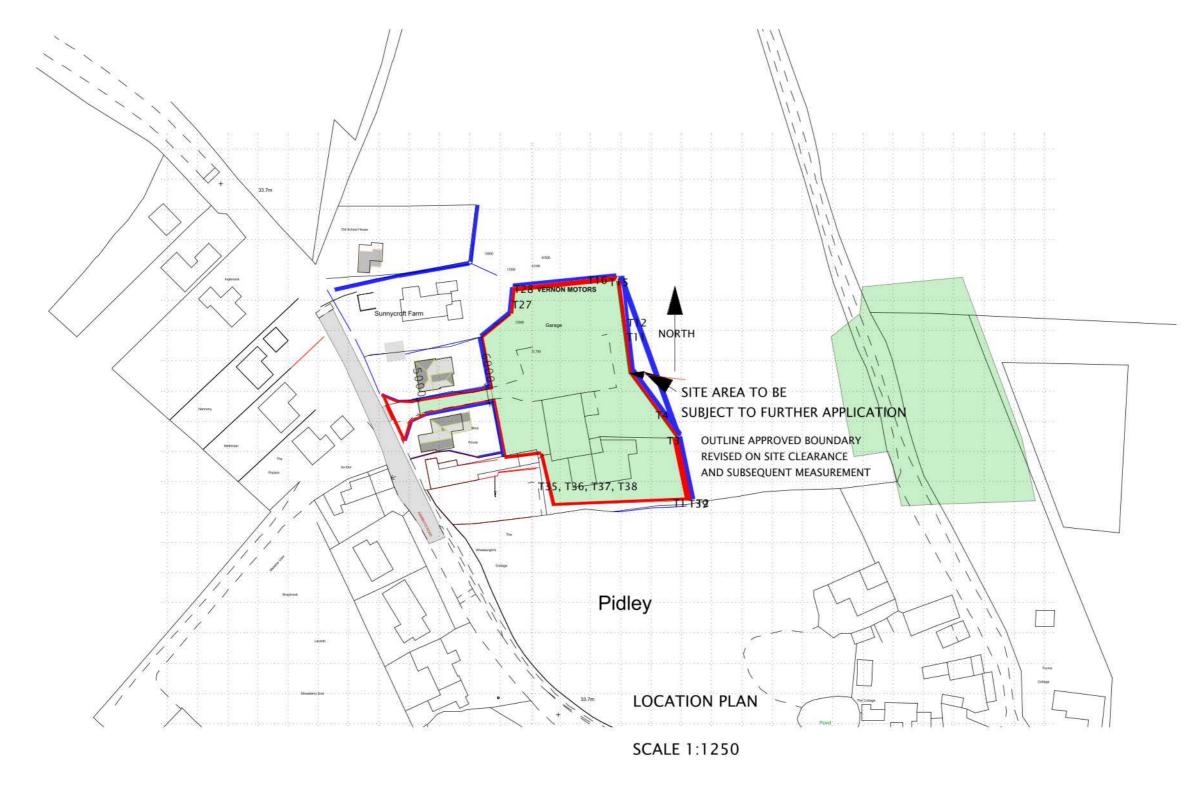


Application Ref:21/01287/REM **Location:** Pidley-cum-Fenton



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VERNON MOTORS SITE WARBOYS ROAD PIDLEY

REV B OUTLINE BOUNDARY SHOWN
REV C COLOUR GREEN OUT BOUNDARY
REV D OUTLINE BOUNDARY 1 JUNE 2022



RIDER SALE CHARTERED ARCHITECTS

THE STUDIO THE OLD COACH HOUSE HARSTON CAMBRIDGE

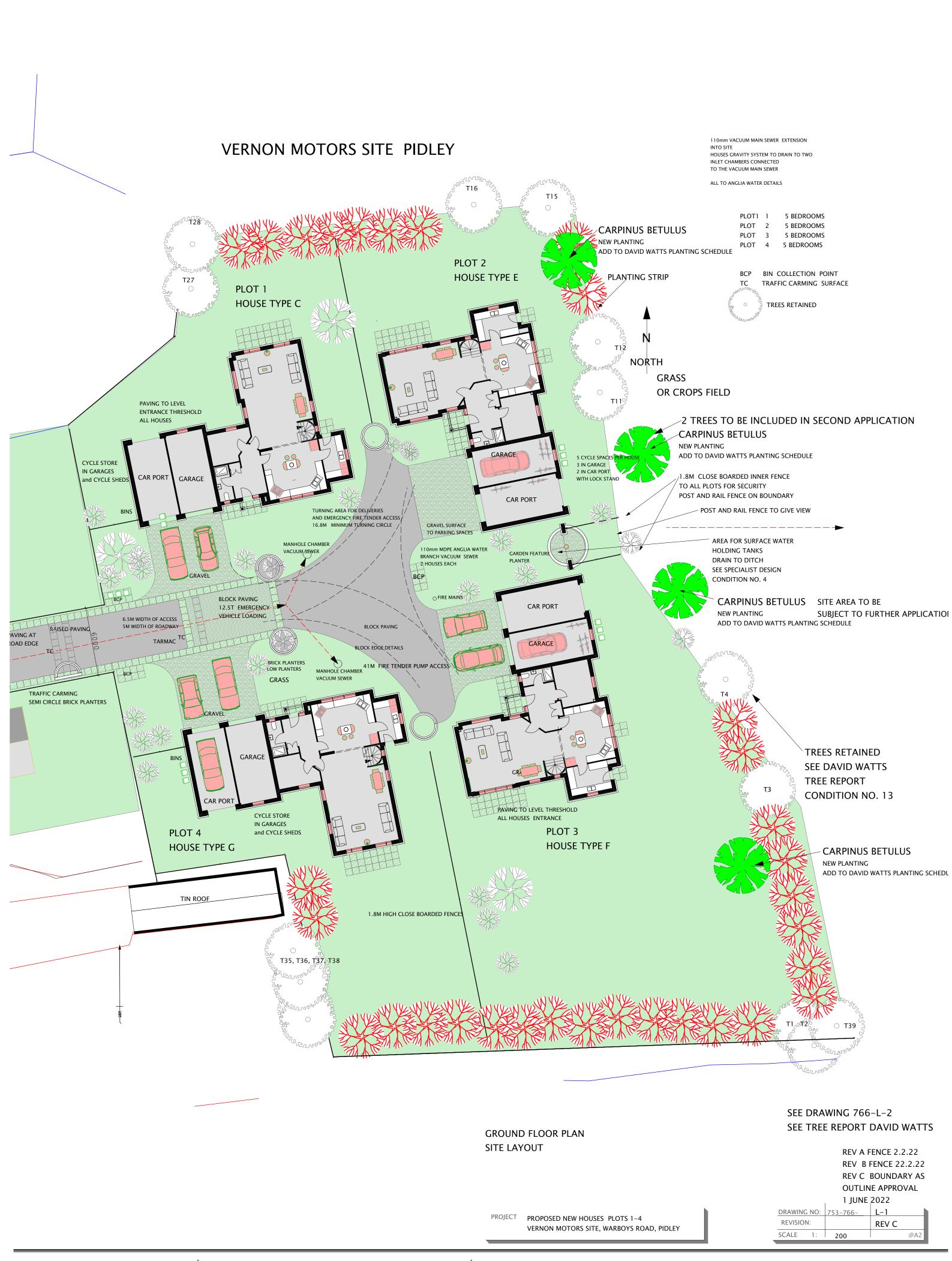
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PROJECT PROPOSED NEW HOUSES PLOTS 1 -4
VERNON MOTORS SITE, WARBOYS ROAD, PIDLEY

DRAWING NO:	753-766-	L-8	1
REVISION:	REV D		
SCALE 1:	1250		@A3





RIDER SALE

CHARTERED ARCHITECTS



RIDER SALE

CHARTERED ARCHITECTS

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ISSUE DETAIL PLANNING DATE DEC 2021

PROJECT PROPOSED NEW HOUSES PLOTS 1 -4 VERNON MOTORS SITE, WARBOYS ROAD, PIDLEY

753-766 - L-2 REVISION: REV A SCALE 1: 1:200



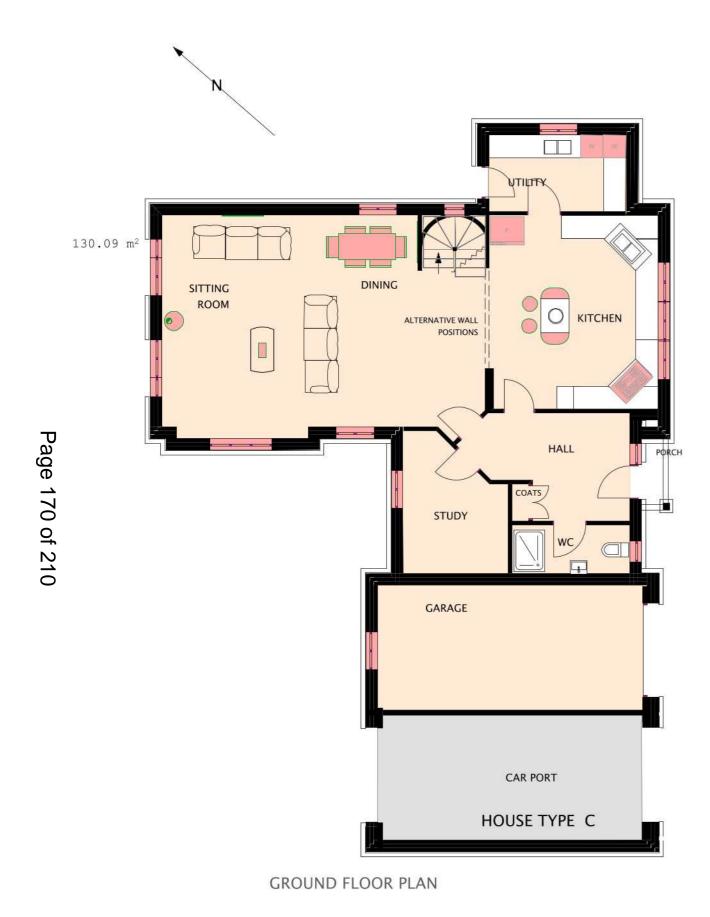
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PROJECT PROPOSED NEW HOUSES PLOTS 1 -4

VERNON MOTORS SITE, WARBOYS ROAD, PIDLEY PLOT 1

SCALE 1:	100	i,	@A3
REVISION:			
DRAWING NO:	766-	C-2	





GROUND FLOOR INCLUDING GARAGE

MEASURED TO 1.5M HIGH AT SLOPING EAVES

FIRST FLOOR PLAN

PLANNING ISSUE DECEMBER 2021 DATE

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PROJECT PROPOSED NEW HOUSES PLOTS 1 -4 VERNON MOTORS SITE, WARBOYS ROAD, PIDLEY PLOT 1

DRAWIN	G NO:	766-	C-1	
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RIDER SALE
CHARTERED ARCHITECTS

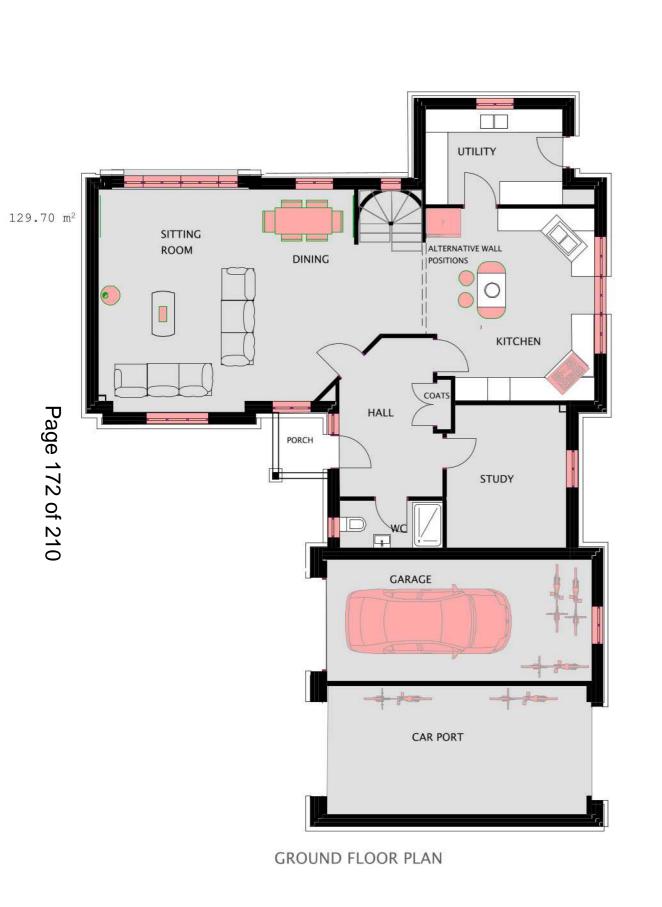
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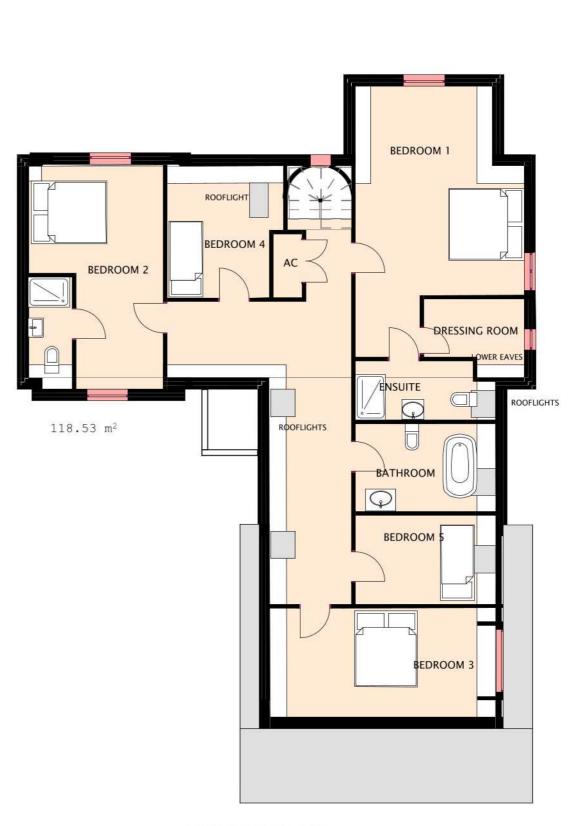
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PROJECT PROPOSED NEW HOUSES PLOTS 1 -4

VERNON MOTORS SITE, WARBOYS ROAD, PIDLEY PLOT 1

DRAWING NO:	766-	E-2	
REVISION:			
SCALE 1:	100		@A3





HOUSE TYPE E AREA

GROUND FLOOR INCLUDING GARAGE

129.70 M\2

FIRST FLOOR

118.53

MEASURED TO 1.5M HIGH AT SLOPING EAVES

TOTAL AREA

248.23M\2

FIRST FLOOR PLAN

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PROJECT PROPOSED NEW HOUSES PLOTS 1 -4

VERNON MOTORS SITE, WARBOYS ROAD, PIDLEY
PLOT 1

DRAWING	NO:	766- E- 1	
REVISION	:		
SCALE	1:	100	@A3



ELEVATION SOUTH

EAST

Soule 1200
DATE DECEMBER 2021

RIDER SALE
CHARTERED ARCHITECTS

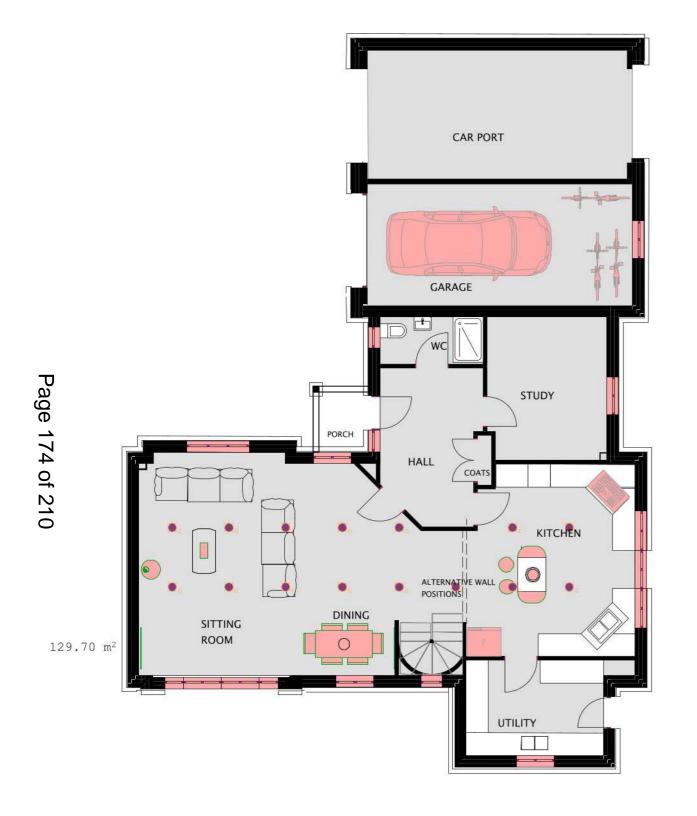
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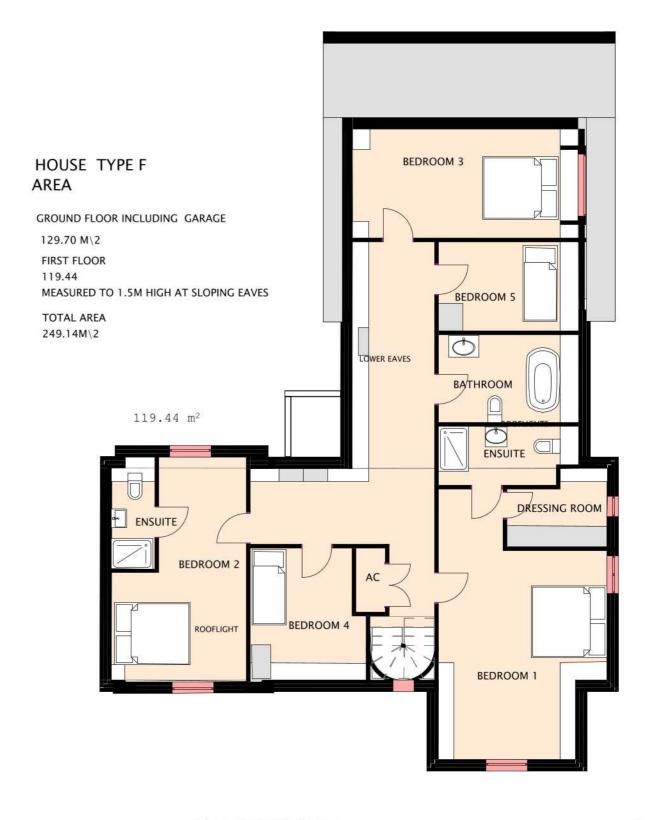
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PROJECT PROPOSED NEW HOUSES PLOTS 1 -4

VERNON MOTORS SITE, WARBOYS ROAD, PIDLEY PLOT 1

DRAWING NO:	766-	F-2	
REVISION:			
SCALE 1:	100		@A3





GROUND FLOOR PLAN

FIRST FLOOR PLAN

HOUSE TYPE F

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PROJECT PROPOSED NEW HOUSES PLOTS 1 -4

VERNON MOTORS SITE, WARBOYS ROAD, PIDLEY
PLOT 1

DRAWING NO:	766- F-1	
REVISION:		
SCALE 1:	100	@A3





NORTH WEST



ELEVATION SOUTH

HOUSE TYPE G

ISSUE	PLANNING	DATE	DECEMBER 202
13301	T EX II II II I	DATE	DECEMBER 202

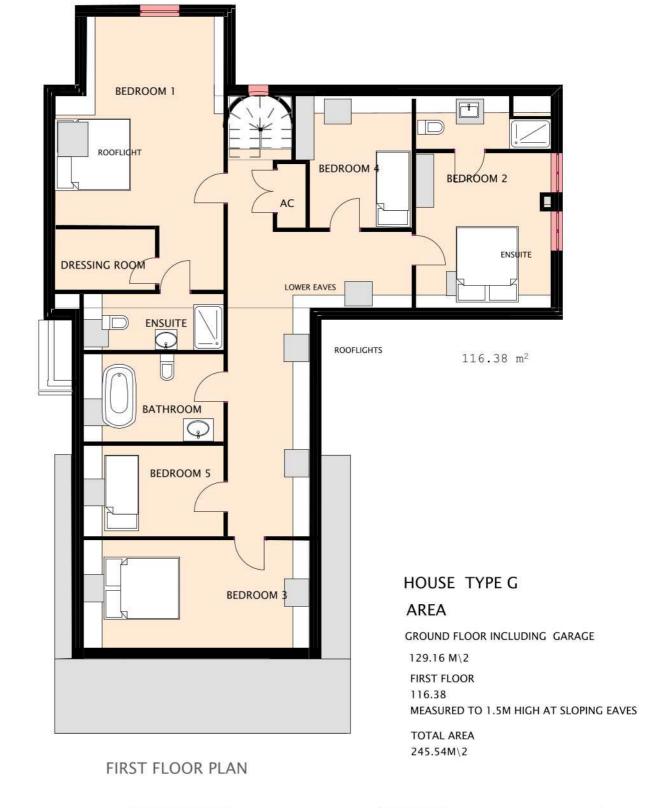
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PROJECT PROPOSED NEW HOUSES PLOTS 1 -4 VERNON MOTORS SITE, WARBOYS ROAD, PIDLEY PLOT 1

DRAWING NO:	766-	G-2	
REVISION:			
SCALE 1:	100		@A3



GROUND FLOOR PLAN



ISSUE PLANNING DATE DECEMBER 2021

PROJECT PROPOSED NEW HOUSES PLOTS 1 -4

VERNON MOTORS SITE, WARBOYS ROAD, PIDLEY PLOT 1

DRAWING NO: 766- G-1

REVISION:

SCALE 1: 100 @A3



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PERSPECTIVE VIEW

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ISSUE

DETAIL PLANNING

DATE DEC 2021

PROJECT PROPOSED NEW HOUSES PLOTS 1 -4 VERNON MOTORS SITE, WARBOYS ROAD, PIDLEY DRAWING NO: 753-766 - L-4 REVISION: SCALE 1:

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DEVELOPMENT MANAGEMENT COMMITTEE 18th JULY 2022

Case No: 22/00145/S73(REMOVAL/VARIATION OF CONDITIONS)

Proposal: REMOVAL/VARIATION OF CONDITIONS 3

(MATERIAL), 4 (LANDSCAPE), 5 (LEVELS), 6 (ECOLOGY), 7 (TREE PROTECTION), 10 (ARCHITECTURAL DETAILS) TO 18/01946/FUL AS THE MAJORITY OF THE WORKS ARE NOW

COMPLETE ON SITE

Location: 50 HAMERTON ROAD ALCONBURY WESTON PE28

4JD

Applicant: MR DEETH

Grid Ref: 517643 277104

Date of Registration: 24.01.2022

Parish: ALCONBURY WESTON

RECOMMENDATION – APPROVE

This application is referred to the Development Management Committee (DMC) as the Local Planning Authority's recommendation of approval is contrary to Alconbury Weston Parish Council's recommendation of refusal.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 The application site is situated to the northeast of Hamerton Road, forming part of the built up area of Alconbury Weston and located within the Alconbury Weston Conservation Area. The site is surrounded by residential dwellings to the east, south and west and beyond this is open countryside.
- 1.2 Planning permission was granted by the DMC in 2019 under application reference 18/01946/FUL for the erection of three dwellings, the change of use of stable yard to livery parking area and the construction of an extension to the access road to the proposed livery parking area.
- 1.3 This permission was subject to several conditions requiring further details of materials (Condition 3), hard and soft landscaping (Condition 4), finished floor levels and external ground levels (Condition 5), biodiversity protection and

enhancements (Condition 6), tree protection (Condition 7) and architectural details for the dwellings (Condition 10). These conditions were pre-commencement conditions meaning that details were required to be submitted and approved prior to works beginning on site.

- 1.4 The dwellings are now substantially complete on site despite the aforementioned conditions not having been discharged by the Local Planning Authority. The applicant has submitted this application under Section 73 of the Town and Country Planning Act (TCPA) 1990 to retrospectively regularise the situation.
- 1.5 Section 73 of the TCPA 1990 allows an application to be made for permission which does not comply with the conditions imposed on the original planning permission. This permits the Local Planning Authority to remove or vary conditions and add additional conditions following the grant of planning permission. Permission granted under section 73 takes effect as a new, independent permission to carry out the same development with new, amended or removed conditions. This sits alongside the original permission, which remains intact and unamended.
- 1.6 This application seeks to vary and/or remove conditions 3 (Material), 4 (Landscape), 5 (levels), 6 (ecology), 7 (tree protection) and 10 (architectural details) of the original permission 18/01946/FUL.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (20 July 2021) (NPPF 2021) sets out the three objectives economic, social and environmental of the planning system to contribute to the achievement of sustainable development. The NPPF 2021 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'
- 2.2 The NPPF 2021 sets out the Government's planning policies for (amongst other things):
 - * delivering a sufficient supply of homes;
 - * achieving well-designed places;
 - * conserving and enhancing the natural environment;
 - * conserving and enhancing the historic environment.
- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.
- 2.4 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 places a general duty as respects conservation

areas in exercise of planning functions. Paragraph (1) sets out that 'with respect to any buildings or other land in a conservation area... special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.'

For full details visit the government website National Guidance

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
 - LP4: Contributing to Infrastructure Delivery
 - LP5: Flood Risk
 - LP6: Waste Water Management
 - LP9: Small Settlements
 - LP10: The Countryside
 - LP11: Design Context
 - LP12: Design Implementation
 - LP14: Amenity
 - LP15: Surface Water
 - LP16: Sustainable Travel
 - LP17: Parking Provision and Vehicle Movement
 - LP25: Housing Mix
 - LP30: Biodiversity and Geodiversity
 - LP31: Trees, Woodland, Hedges and Hedgerows
 - LP34: Heritage Assets and their Settings
- 3.2 Supplementary Planning Guidance
 - Huntingdonshire Design Guide (2017)
 - Developer Contributions Supplementary Planning Document (2011)
 - Cambridgeshire Flood and Water Supplementary Planning Document (2017)
 - Huntingdonshire Tree Guidance Note 3

For full details visit the government website Local policies

4. PLANNING HISTORY

- 4.1 18/01946/FUL The erection of three dwellings, change of use of stable yard to livery parking area and construction of an extension to the access road to the proposed livery parking area Approved 18th October 2019
- 4.2 20/01547/FUL The erection of 3 detached dwellings, following the demolition of the stables and the re-use of the exercise yard associated with the disused equestrian use Withdrawn by applicant 17th June 2021.
 - Part of the land subject to this application includes the stable yard which formed part of the original application which granted a change of use to a livery parking area.

5. CONSULTATIONS

5.1 Alconbury Weston Parish Council:

[Initial comments received 23rd February 2022]

No material observations to make on this application

[Comments received 10th March 2022]

Although the Parish Council has already submitted a no observation comment against this application, at their meeting on 7th March 2022, Councillors would like to see in the public domain a report as to why each condition is being changed and what they are being changed to, and also see a detailed report on what the applicant is not complying with. The Parish Council wish to be provided with this information.

[Comments received 31st May 2022]

Following an Extraordinary meeting of Alconbury Weston Parish Council on 30 May 2022, the Parish Council (PC) recommends that the Local Planning Authority refuse Planning Application 22/00145/S73.

The PC offers the following comments:

Condition 3 – The PC is concerned that the building materials that have been used and the finished appearance are not in keeping with the Alconbury Weston Conservation Area, in which these houses stand, notably:

- Materials are not to the required specification. i.e. doors and windows are UPVC/composite whereas they should be wood. The cladding is also not timber, it is composite
- Despite chimneys being shown on all plans submitted, including the developer's revised plans, there are no chimneys. As far as the PC is aware, all houses within the conservation area have chimneys.
- The colour of the cladding is a fashionable modern colour and is not in keeping with other properties in the Conservation Area.
- Roof tiles are not the correct colour.
- The colour of the doors and windows is not as originally specified.
- Porches are missing from the finished properties.
- The external appearance of the garages is not in keeping with the Conservation Area.

The PC objects to the removal of Condition 3, and requests that remedial action is taken to address the appearance of this development.

Condition 4 – The planning application seeks to remove Condition 4. The PC has assumed that the developer has changed his mind, as he has now submitted both hard and soft landscaping plans. The hard landscaping proposal is comprehensive, but retains the road construction that currently exists but with a different surface. This is contrary to Condition 8 and does not achieve the flood risk reduction requirements.

There is great concern within the village community that Condition 8 has not been met. We note that there has been no request to remove Condition 8, but it is unclear to the PC if there is provision for rainwater/surface water run-off as detailed in Condition 8 and it is still unclear to the PC how this condition would be met. The PC originally observed that the data used was some 20 years out of date and since that data was provided there have been several "1 in 100 year" floods. We are not clear as to the nature of the current drainage solution for this development and cannot determine if is fit for purpose. The development seeks to barrier itself off from surrounding properties through the use of 1.8m high solid fencing, walls and some hedging inside the fencing. The PC considers that this is not in keeping with the boundaries between other properties within the conservation area, and recommends greater use of hedging, which would also contribute to flood alleviation. The PC objects to the hard landscaping proposal.

Condition 5. The PC has no access to the site to determine whether the floor level of all buildings is correct. The PC consider that it is unacceptable to remove Condition 5 and request that the planning authority determines why this condition should be removed.

Condition 6. The PC does not understand why condition 6 needs removing. The developer has submitted a Biodiversity Method Statement dated April 2022, and while the major part of the report has been undertaken by the completed development, the PC would wish to see the remaining activities completed and inspected.

Condition 7. The PC note that the Retrospective Arboricultural Impact Assessment submitted by the developer states that Condition 7 has not been met. However, the PC support the recommendation of this report that the terms of Condition 7 are applied for the 5 years following completion of the development. The PC therefore object to the removal of Condition 7.

Condition 10. The PC consider that Condition 10 is critical to the appearance of the finished properties and their blending into the conservation area. The PC note that there are some details on the plans that allude to the architectural design, but they are not sufficient to comment on. As many of these details are to be completed in the final stages of development, we cannot observe on their implementation, but would expect the developer to fulfil the requirements of Condition 10.

The PC request that you note that the meeting saw a large public participation (13 members of the parish + 2 developers), with the parish members particularly concerned about the appearance of the development where it is situated within the conservation area, and also that Parish advice has not been sought of any

significant proposed deviations from the approved planning approval before they have been carried out. The overall feelings of the parishioners' present were that the development is significantly altered from what was initially approved.

5.2 HDC Urban Design Team:

[Received 21st February 2022]

Amended elevation drawings should be provided as part of the S73 application to reflect the proposals as built and to regularise these changes – the latest drawings are not accurate and do not reflect the loss of window head details (plots 1 and 2), loss chimneys (plots 1, 2 and 3) and the increased eaves height and changes to the dormer windows within the rear projections (Plots 2 and 3).

C2 Materials and C10 Architectural Details

Plot 1 - dwg JPT/RHD/0121/002 (replaces approved dwg JTP/PB/0318/002 Rev B)

The proposed materials are set out on dwg JPT/RHD/0121/004 are acceptable. The introduction of the side entrance door is acceptable. The location of the white meter box is accepted. Amendments are required to introduce chimneys (2 chimneys – one on either gable) to articulate the roof line as well as window head details as per approved elevations – these are shown missing from the case officer site photos. Consider if brick slips could be used to create the appearance of window heads (C10). Details of the window reveal depth should be confirmed (C10) – these appear very shallow on the site photos and we question if window reveal depths could be increased (windows setback further) prior to the installation of the render.

Plot 2 – dwg JPT/RHD/0121/003 (replaces approved dwg JPT/PB/0318/003 Rev C)

The proposed materials are set out on dwg JPT/PD/0318/003 are acceptable. The introduction of the side entrance door is acceptable. The location of the white meter box is accepted. The eaves line over the subservient rear extension is higher than approved, whilst accepted, details of the dormer window side cheeks should be confirmed (C3 vi). Amendments are required to introduce chimneys (2 chimneys – one on either gable) to articulate the roof line and accord with original approved elevations. Details of the projecting porch canopy should be provided (C3 vii). Details of the window reveal depth should be confirmed (C10) – these appear very shallow on the site photos, question if window reveal depths could be increased (windows setback further) behind the outer course of facing brick.

Plot 3 – dwg JPT/RHD/0121/004 (replaces approved dwg JPT/PB/0318/004 Rev C)

The proposed materials are set out on dwg JPT/PD/0318/003 are acceptable. The introduction of the side entrance door is acceptable. The location of the white meter box is accepted. The

revised windows proportions are accepted. The eaves line over the subservient rear extension is higher than approved, whilst accepted, details of the dormer window side cheeks should be confirmed (C3 vi). Amendments are required to introduce chimneys (2 chimneys – one on either gable) to articulate the roof line and accord with original approved elevations. Details of the projecting porch canopy should be provided (C3 vii). Details of the window reveal depth should be confirmed (C10) – these appear very shallow on the site photos, question if window reveal depths could be increased (windows setback further) prior to the installation of render.

C4 Landscape

Do not support the removal of C4 hard and soft landscape details and no justification has been provided. The arrangement of brick boundary walls and landscaped verges as set out on site plan dwg JPT/PB/0318/001 Rev F are necessary to accord with the HDC Design Guide SPD requirements for 'public facing' boundaries. Threshold landscaping is required to soften the appearance of the units. Detailed landscape proposals should not be left to the future homeowner and should submitted as part of this S73 application. Landscaping should be in accordance with the recommendations set out in the PEA. We question if the S73 could change the wording of C4 from 'no development above slab level...' to 'prior to occupation' to allow the LPA to secure these landscape details.

C5 Levels

Do not support the removal of level details – these are necessary to confirm the proposed access arrangements, finished levels of thresholds, and relationship of units to the car parking spaces/driveways, gardens and the road.

C6 Ecology

Do not support the removal of this condition and no justification has been provided.

C7 Tree protection

Do not support the removal of this condition and no justification has been provided. Tree retention should be as per the AIA provided with the approval.

5.3 HDC Conservation Team:

[Received 17 June 2022]

No objection. Conservation advice was provided in respect of the initial application 18/01946/FUL. Comments were limited to the morphology of the proposal, its layout and scale and requirement for landscaping particularly at the front of the plot. It was considered that development of the site was unlikely to cause harm to the character and appearance of the CA as the proposal created the opportunity to reinforce the street frontage, screen the bulk of Salix House and introduce additional planting and

landscaping. It was noted that this part of the conservation area has a character of more recent open grained domestic development sitting within reasonably large plots of maturing gardens set behind well kept hedgerows.

It was anticipated that the detailed aspects of the scheme would be submitted for approval prior to the development occurring, the conditions however were not discharged. The applicant has now built out the scheme in a manner not in accordance with the consent or conditions.

These comments therefore assess the impact of the as built scheme and its impact on the character and appearance of the Alconbury Weston Conservation Area. There is no conservation area character statement for Alconbury Weston.

Unit 1 will be the most prominent in the conservation area siting at the front of the site on raised ground. The building is rendered under a slate roof, regrettably the rear wing is no longer 1.5 storys in height having been raised to 2 stories, this has had the effect of increasing the bulk of the building and negating the subservience of the wing. This has eroded the quality of the design but not to the extent that the proposal now causes harm.

The loss of the porch is a minor matter which again would have softened the front elevation but its loss does not result in harm. I understand that chimneys will be employed which will give the roof more of a traditional character.

The opportunity to control the detailing of the windows has been lost and better detailed units would have been sought, whilst this is regrettable modern windows in this part of the conservation area are not uncommon therefore it can not be said that harm is caused.

There is some minor changes to the position of windows and doors.

Units 2 and 3 sit towards the rear of the site and are more inward looking, a public footpath runs along the site so the detail of the design will again be evident. Again minor changes have occurred the most impactful being the stark colour of the pantiles (a blend would have been more appropriate) and the colour of the boarding to the wings and garages, whilst I do not object to the material the use of a blue/grey colour emphasises the uncharacteristic character of these materials, they will not weather in with age and will continue to form a contrast.

The works that have been undertaken are disappointing and result in a dumbing down of the original approved scheme. This assessment however only considers if the unauthorised works cause harm to the character and appearance of the conservation

area. In this instance the unauthorised works do not cause harm to the significance of the conservation area.

5.4 CCC Highways

[Received 15th June 2022]

Highways have the following comments in relation to the following conditions:

- 3 (Material), Not a condition requested by the Highway Authority, no comments
- 4 (Landscape), Not a condition requested by the Highway Authority, no comments
- 5 (levels), Not a condition requested by the Highway Authority, no comments
- 6 (ecology), Not a condition requested by the Highway Authority, no comments
- 7 (tree protection), Not a condition requested by the Highway Authority, no comments
- 10 (architectural details), Not a condition requested by the Highway Authority, no comments

5.5 HDC Landscape Officer

[Received 23rd June 2022]

These comments relate to the application for the discharge of condition 4 – hard and soft landscaping. The soft and hard landscape plans are located in Appendix 1 and 2 of the Landscape Specification document by Skilled Ecology, dated 25 April 2022.

I do not object to the proposals, but they are not fully in accordance with the HDC Design Guide, therefore I recommend a small number of amendments. Comments relating to the relevant part of the condition are below.

4i. Hard Landscape Works submission

- Skilled ecology drawing 'Hard Works' drawing number 1317-02, and
- MTC drawing 'Hard Landscaping Plan' drawing number 2619-06 Rev B
- 1. Boundary treatments the brick wall boundary treatment to the main driveway, is welcomed, however the close boarded fencing proposed in shared driveway locations is not compliant with HDC UD design code. I recommend the sections indicated below in yellow are amended to brick walls, or post and rail fence.
- 2. Close boarded fencing to internal garden boundaries is acceptable.
- 3. The proposed hard landscape materials are acceptable however please note that the gravel on the highways access does not accord with the CCC highways compliant tarmac shown on MTC drawing 2619-06 rev B. The hard landscape plan should be amended to ensure that both details are the same.

- 4ii. Soft Landscape Works submission
- Skilled ecology drawing 'Soft Works' drawing number 1317-01 Rev A
- 4. The proposed planting plan is acceptable.

4iii Landscape specification

- Skilled ecology document 'Landscape Specification' V3 dated 25 April 2022
- 5. Watering regimes for the new planting should be increased to weekly through the growth season March September inclusive.

4iv. The proposed implementation programme shown on the Soft Works plan is acceptable.

Recommendation: I have no major concerns regarding the proposals, but recommend the above amendments to ensure the design is compliant with the HDC Design Guide, consistent surface materials are shown across the highways and hard landscape plans, and to ensure that the proposed planting is able to thrive, minimising the need to replace planting at a later date.

6. REPRESENTATIONS

- 6.1 The application has been advertised by means of site and press notice, given the application would affect the setting of the Conservation Area. 24 neighbouring properties were also notified of the application by letter.
- 6.2 Comments have been received from 15 occupants of neighbouring/nearby properties, summarised as follows:
 - Trees removed before construction started
 - Amount of close-boarded fencing proposed is not in keeping with the local area/landscape. All other properties on Hamerton Road have post and rail fencing and hedging to their northern boundary.
 - Materials used are not in keeping with surrounding Conservation Area
 - Condition 8 of the original permission requires that the development is carried out in accordance with the Flood Risk Assessment received on 29 May 2019. Concerns that this will not be achieved.
 - The new plans show that the driveways will all be tarmac, indicating that the water storage/release provision will not be installed (as per the approved Flood Risk Assessment)
 - Development could exacerbate existing flooding issues in the area
 - Deviances from the original approved plans
 - It is not acceptable for the developer to avoid the ecological and landscaping conditions

- Native hedge planting and landscaping not implemented
- Houses are near completion, but chimneys and porches have not been constructed
- Brick wall constructed at plot 1 which is far from the soft planted hedges shown on the original application

7. ASSESSMENT

- 7.1 The main issues to consider in the determination of this application are:
 - The Principle of Development
 - Design and Visual Amenity
 - Impact on the Conservation Area
 - Impact upon Residential Amenity
 - Highway Safety
 - Biodiversity
 - Trees
 - Landscaping
 - Flood Risk
 - Other matters

Principle of Development

- 7.2 The principle of the development was established under application reference 18/01946/FUL and therefore will not be considered as part of this application. It has previously been established that the application site forms part of the built up area of the small settlement of Alconbury Weston and the development would accord with Policy LP9 of Huntingdonshire's Local Plan to 2036
- 7.3 The proposed request for removal and/or variation of the conditions imposed on the original permission has been set out at the start of this report. All other parts of the approved development remain unamended and the previous planning permission 18/01946/FUL remains intact. In determining an application under Section 73 of TCPA 1990, officers should have regard to the development plan and all other material considerations.

Design, Visual Amenity and Impact on the Conservation Area

7.4 Policies LP11 and LP12 of Huntingdonshire's Local Plan to 2036 state that developments should respond positively to their context, draw inspiration from the key characteristics of its surroundings and contribute positively to the area's character and identity. Furthermore, Policy LP34 of the Local Plan states that proposals in a Conservation Area should preserve, and

wherever possible enhance the area's character, appearance and setting.

- 7.5 Condition 3 of 18/01946/FUL required the applicant to provide details of external materials to be submitted and approved by the Local Planning Authority (LPA) prior to any development being carried out above slab level. This required further details of external materials such as the proposed brick, render, cladding and roof tiles. Furthermore, condition 10 of 18/01946/FUL required architectural details, such as window and door reveals and cills, location and colour of meter boxes, flues and vents, to be submitted and approved prior to development above slab level. The applicant has now retrospectively provided full details of materials and architectural details under this section 73 application.
- 7.6 The plans originally approved stated that the proposed external materials for plot 1 would comprise grey slate roof tiles. monocouche render finish and white timber windows. It was proposed that plots 2 and 3 would have soft red pantile roof tiles. timber windows and the rear projections would be finished in natural stained timber weatherboard. Plot 2 was proposed to have a cream buff brick finish, whereas plot 3 would have a similar render finish to plot 1. The main departures from the previously proposed materials are the cream UPVC windows seen on all plots instead of timber frames and the use of red concrete interlocking tiles and composite cladding in a grey/blue colour on the rear projections of plots 2 and 3. Composite cladding has also been used on the detached garages for all plots. The Parish Council have objected to the materials used and consider that the finished appearance of the development is not in keeping with the Alconbury Weston Conservation Area.
- 7.7 The Conservation Team have assessed the impact of the as-built scheme, in particular the materials used, and its impact on the character and appearance of the Alconbury Weston Conservation Area. It should be noted that there is no conservation area character statement for Alconbury Weston. Having regard to the character and appearance of the surrounding area, there are a variety of materials used on dwellings, including render, red and buff brick and roof tiles are predominantly red, brown or slate. There are also examples of both timber and upvc windows in vicinity of the site.

- 7.8 Plot 1 is the most prominent in views from the Conservation Area. Whilst it is set back significantly from Hamerton Road, it sits on slightly higher ground and is visible from the vehicular access and the adjacent Public Right of Way (reference 8/3) which runs along the eastern part of the site. Comments from the Conservation Team in respect of materials on plot 1 focus on the use of modern UPVC windows. It is noted that similar windows are not an uncommon feature in this part of the conservation area and as such, UPVC windows used on all plots is not considered to be harmful to the character or appearance of the Alconbury Weston Conservation Area.
- 7.9 With regard to plots 2 and 3, the Conservation Team have commented on the stark colour of the red concrete interlocking tiles used. Furthermore, the blue/grey colour of the composite cladding used on the rear projections as well as the garages on all plots. It is acknowledged that the colour of the materials is uncharacteristic of the conservation area and concerns have been raised that these will not weather in with age. Plots 2 and 3 and the garage of Plot 1 are not prominent in views from the street scene, being set further into the site behind Plot 1. This therefore minimises the impact from the street scene. The Conservation Team have not objected to the materials used as harm is not caused to the character, appearance or the significance of the surrounding Conservation Area. It should also be noted that HDC's Urban Design Team consider that the materials used are acceptable.
- 7.10 The submitted plans also show minor alterations to the size and positioning of windows and the pitch of the rear projections with dormer windows on plots 2 and 3 have also been altered when compared to the original approved plans. This reflects what has been built on site. The Conservation Team consider that the now two storey rear projection, as opposed to the one and a half storey projection previously approved, increases the bulk of the building and reduces the subservience of this feature. However, this is not to an extent that would be detrimental to the scheme or contrary to Policies LP11, LP12 or LP34 of the Local Plan.
- 7.11 It should also be noted that the submitted plans show two chimneys on either side of plots 1, 2 and 3, and plots 2 and 3 are shown to have a pitched roof front porch feature. It is the applicants intention to construct these in due course, hence they are shown on the submitted plans but are not yet visible on site. The Urban Design Team consider that the chimneys are an

essential design feature to articulate the roof line. Furthermore, the Conservation Team consider that this would give the roofs a more traditional character and the porches would soften the front elevation of plots 2 and 3. A condition is recommended to ensure that the porches and chimneys are installed in accordance with the submitted plans and within a suitable timeframe, to ensure the development achieves a high standard of design.

7.12 Officers acknowledge that the quality of the approved development has been affected by the use of less sympathetic materials and finishes. However, it is not considered that the changes have materially diminished the quality of the development between permission and completion to such an extent which would warrant refusal of the application. It is recommended that condition 3 be amended to ensure that the design of the development is carried out and retained in accordance with submitted details. It is also recommended that condition 10 be removed as architectural details have either been provided as part of the application or can be seen on site and these are satisfactory. For the avoidance of doubt, these details are secured through the approved plans condition.

Impact upon Residential Amenity

- 7.13 Policy LP14 of Huntingdonshire's Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 7.14 In the Officer Report for 18/01946/FUL, it was concluded that the development would not lead to a significant loss of amenity to the adjoining properties. However, it was considered that a full landscaping scheme including details of boundary treatment should be conditioned to provide effective screening and retain the private residential amenity of neighbouring properties. Condition 4 requiring hard and soft landscaping details was not discharged before development commenced.
- 7.15 A full landscaping scheme has been submitted as part of this application which includes details of boundary treatments. Appendix 2 of the Landscape Specification document by Skilled Ecology shows that boundary treatment between the proposed dwellings and existing dwellings to the east and west of the site comprises brick walls, 1.8 metre close boarded fencing and hedging. It is acknowledged that some of the hard boundary

treatment has already been constructed on site. This is considered sufficient to protect the privacy of existing and future occupants.

- 7.16 A further condition was also imposed requiring details of finished floor levels and external ground levels, in the interests of residential amenity. Condition 5 required details of levels, however, this was not discharged. This has now been provided under this current application (drawing 2619-06 Rev B Hard Landscaping Plan). Furthermore, as the dwellings are substantially built the finished floor levels and ground levels can be seen on site and Officers are satisfied that these are acceptable and do not give rise to residential amenity issues.
- 7.17 It is recommended that the wording of condition 4 be amended to ensure that the landscaping is carried out and retained in accordance with the submitted Landscape Specification by Skilled Ecology (dated 25 April 2022). Officers do not feel that it is necessary for condition 5 concerning finished floor and external ground levels to be reimposed on this application, given that the levels as seen on site are satisfactory. For the avoidance of doubt, drawing 2619-06 Rev B which provides details of levels across the site will be included in the approved drawing list. With the above, it is considered that the development would not have any unacceptable adverse impacts on residential amenity, in accordance with Policy LP14 of Huntingdonshire's Local Plan to 2036.

Highway Safety

7.18 The development is served by an existing access which the Highway Authority raised no objection to under the original application. No amendments are proposed to this access or the site layout in terms of parking and turning arrangements. The Highway Authority have raised no objection to this current application. As such, the development is not considered to have an adverse impact upon highway safety. The proposal therefore accords with Policies LP16 and LP17 of Huntingdonshire's Local Plan to 2036 in this regard.

Biodiversity

7.19 Policy LP30 of the Huntingdonshire Local Plan advises that all development provides a net gain in biodiversity where possible, and that this should be appropriate to the scale, type and location of development.

- 7.20 A Preliminary Ecological Appraisal (PEA) was submitted under application reference 18/01946/FUL which was considered acceptable by the Wildlife Trust. The PEA set out that the site was of limited ecological interest but set out a number of recommendations, enhancements and precautionary measures. Condition 6 was imposed on the original permission requiring the submission and approval of a Biodiversity Method Statement (BMS) which expands on the recommendations in the PEA. This condition was not discharged prior to the commencement of development.
- 7.21 This application is supported by a BMS produced by Skilled Ecology Consultancy Ltd (dated April 2022) which provides details of precautionary measures and enhancements including the installation of 3 bird boxes, 3 bat boxes, planting of native hedging and a wildlife sensitive lighting design. The submitted details are considered to be acceptable to ensure no net loss in biodiversity. It is therefore recommended that the wording of condition 6 be amended to ensure that development is carried out and retained in accordance with details contained in the BMS.
- 7.22 Subject to condition the development is considered acceptable providing a net gain in biodiversity is achieved as required by Policy LP30 of Huntingdonshire's Local Plan to 2036 and the NPPF 2021.

Trees and Landscaping

- 7.23 Policy LP31 of Huntingdonshire's Local Plan to 2036 requires proposals to demonstrate that the potential for adverse impacts on trees, woodland, hedges and hedgerows has been investigated and that a proposal will only be supported where it seeks to conserve and enhance any existing tree, woodland, hedge or hedgerow of value that would be affected by the proposed development.
- 7.24 An Arboricultural Impact Assessment was submitted with the original application 18/01946/FUL which set out that 12 trees, 2 tree-groups and 1 shrub-group were to be removed as part of the development. These were low value trees and Officers raised no objection to this. Condition 7 was imposed requiring the submission and approval of a Tree Protection Plan prior to the commencement of any development, clearance or preparatory works on site. This was to ensure that retained trees were suitably protected during construction, in the interests of visual

- amenity. This condition was not discharged by the Local Planning Authority.
- accompanied 7.25 This application is by а 'Retrospective Arboricultural Impact Assessment' produced by Skilled Ecology Consultancy Ltd (dated 12th April 2022). The report provides a review of the impact on trees from the works carried out to date. It sets out that there has been removal of trees at a neighbouring site (by persons unknown) outside of the application site, but all retained trees on site are not thought to have been adversely affected by the development. Furthermore, the submitted Landscape Specification by Skilled Ecology (dated 25 April 2022) sets out that thirteen new trees will be planted, in addition to new shrubs and hedges.
- 7.26 Officers are satisfied that existing trees have not been adversely affected by the development and additional tree planting will enhance the character and appearance of the site. It is therefore recommended that parts of condition 7 be reworded to ensure that development accords with the 'Retrospective Arboricultural Assessment', however this condition will continue to stipulate that should any new or existing trees, shrubs or hedges die or become damaged within five years from completion of construction, these must be replaced by the landowner/applicant.
- 7.27 The Landscape Officer has reviewed the submitted landscape specification and has raised no objection to the proposed hard and soft landscape details, landscape specification or implementation programme, subject to minor changes to proposed boundary treatments and watering regimes. As previously mentioned in Paragraph 7.17 of this report, it is recommended that the wording of condition 4 be amended to ensure that the landscaping is carried out and retained in accordance with the submitted Landscape Specification by Skilled Ecology (dated 25 April 2022), within an appropriate timescale. With the above, it is considered that the proposal accords with Policy LP31 of the Local Plan.

Flood risk

7.28 The majority of the application site is in Flood Zone 1 as confirmed by the Strategic Flood Risk Assessment 2017, which means it has a low probability of flooding. Under the original application 18/01946/FUL it was deemed that there would be no significant additional surface water run-off impacts due to the

lack of additional hardstanding. It should be noted that part of the southern section is located within Flood Zone 2 due to the close proximity of the Alconbury Brook on the southern section of Hamerton Road; however, there is no built form approved or proposed in this location.

- 7.29 A Flood Risk Assessment (FRA) was submitted as part of the original application and this set out that on site surface water storage would be provided to ensure that there would be no increased flood risk downstream towards Alconbury Brook. This would be achieved by providing a vortex control/ hydrobrake chamber and using porous surfacing on driveway areas.
- 7.30 The Parish Council and several objectors have concerns that condition 8 has not been met as it is not clear if provision has been made for rainwater/surface water run-off as set out in the FRA. It is acknowledged that drawings initially submitted as part of this application stated that the driveway areas would be tarmac and there was no mention of the surface water storage being installed beneath the driveway, contrary to the approved FRA and Condition 8. Officers discussed this with the applicant during the course of the application and detailed plans of the flood mitigation measures as described in the original FRA have now been provided. Namely, a hydrobrake flow control system and permeable driveway materials.
- 7.31 The applicant has not applied to amend condition 8, however Officers recommend that this condition be reworded to ensure that the flood mitigation measures are installed in compliance with the submitted details and within a suitable timeframe. Subject to this the development would accord with Local Plan policy LP15 and the aims of the Cambridgeshire Flood and Water Supplementary Planning Document.

Other matters

- 7.32 An application under Section 73 of the TCPA 1990, if approved, has the effect of the issue of a new, separate planning permission. Consequently, the conditions applied to the previous permission to which this application relates must be reviewed and added to any approval of this application where these would pass the tests of conditions set out in paragraph 56 of the National Planning Policy Framework 2021.
- 7.33 There is no requirement to stipulate when the development shall be begun, as development has already commenced on site. The

list of approved drawings will be amended to include the drawings submitted as part of this application. Conditions 3 (materials), 4 (landscape), 6 (ecology), 7 (tree protection) and 8 (flood mitigation) will be reworded as discussed in this report. It is recommended that conditions 5 (levels) and 10 (architectural details) be removed as full details have been provided as part of this application and considered acceptable. Condition 9 which requires the development to meet the requirements of M4(2) 'accessible and adaptable' and retained as such will be reimposed. An additional condition is recommended to ensure that the proposed porches and chimneys are installed within a suitable timeframe, to ensure the development achieves a high standard of design.

Planning Balance and Conclusion

Paragraph 135 of the National Planning Policy Framework 2021 states that local planning authorities should seek to ensure that the quality of approved development is not materially diminished between permission and completion, as a result of changes made permitted scheme. to the Officers acknowledged that the materials used in the construction of the dwellings are less sympathetic than those originally proposed. However, the Conservation and Urban Design teams have not identified any harm to the character and appearance of the Alconbury Weston Conservation Area. Officers are also satisfied that high quality landscaping and biodiversity net gain can be achieved, and the development would not give rise to adverse neighbour amenity impacts or increase the risks of flooding. On balance, the development is consistent with the Development Plan when taken as a whole and is acceptable. There are no other material planning considerations which have a significant bearing on the determination of this application.

8. RECOMMENDATION - APPROVAL subject to conditions to include the following

- Approved plans
- Materials as shown on plans
- Implementation of landscaping scheme
- Implementation of biodiversity enhancements/precautionary measures
- Tree protection/replacement
- · Implementation of flood mitigation measures
- Compliance with 'accessible and adaptable' requirements
- Installation of chimneys and porches (with details agreed in advance)

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs

CONTACT OFFICER:

Enquiries about this report to **Lucy Pateman Senior Development**Management Officer – lucy.pateman@huntingdonshire.gov.uk

From: developmentcontrol@huntingdonshire.gov.uk

DevelopmentControl To:

Comments for Planning Application 22/00145/S73 Subject:

23 February 2022 15:01:26 Date:

Comments summary

Dear Sir/Madam,

Planning Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 23/02/2022 3:01 PM from Miss Charlotte Copley.

Application Summary

Address:	50 Hamerton Road Alconbury Weston Huntingdon PE28 4JD
Proposal:	Removal of conditions 3 (Material), 4 (Landscape), 5 (levels) ,6 (ecology), 7 (tree protection), 10 (architectural details) to 18/01946/FUL as the majority of the works are now complete on site
Case Officer:	Theresa Nicholl

Click for further information

Customer Details

Name:	Miss Charlotte Copley
Email:	parishclerk@alconburywestonparishcouncil.co.uk
Address:	37 Station Road, Ramsey, Huntingdon PE26 1JB

Comments Details

Commenter Type:	Town or Parish Council				
Stance:	Customer made comments neither objecting to or supporting the Planning Application				
Reasons for comment:					
Comments:	Alconbury Weston Parish Council has no material observations to make on this application.				

Kind regards

developmentcontrol@huntingdonshire.gov.uk
DevelopmentControl From:

To:

Subject: Comments for Planning Application 22/00145/S73

10 March 2022 13:34:50 Date:

Comments summary

Dear Sir/Madam,

Planning Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 10/03/2022 1:34 PM from Mrs Alison Brown.

Application Summary

Address:	50 Hamerton Road Alconbury Weston Huntingdon PE28 4JD
Proposal:	Removal of conditions 3 (Material), 4 (Landscape), 5 (levels) ,6 (ecology), 7 (tree protection), 10 (architectural details) to 18/01946/FUL as the majority of the works are now complete on site
Case Officer:	Theresa Nicholl

Click for further information

Customer Details

Name:	Mrs Alison Brown			
Email:	parishclerk@alconburywestonparishcouncil.co.uk			
Address: 46 Oakdale Avenue, Peterborough PE2 8TA				

Comments Details

Comments Details	
Commenter Type:	Town or Parish Council
Stance:	Customer made comments neither objecting to or supporting the Planning Application
Reasons for comment:	
Comments:	Although the Parish Council has already submitted a no observation comment against this application, at their meeting on 7th March 2022, Councillors would like to see in the public domain a report as to why each condition is being changed and what they are being changed to, and also see a detailed report on what the applicant is not complying with. The Parish Council wish to be provided with this information.

Kind regards

From: mark.waring@alconburywestonparishcouncil.co.uk

To: <u>DevelopmentControl</u>

Cc: april.stone@alconburywestonparishcouncil.co.uk; "Cllr Jane Baker"; Cllr Karen Brine; "Cllr Neil Morton"; "Cllr

P Baker", "Cllr Paul Harper-Harris", Parish Clerk

Subject: Planning Application 22/00145/S73 - Alconbury Weston Parish Council Comment

Date: 31 May 2022 19:58:11

Following an Extraordinary meeting of Alconbury Weston Parish Council on 30 May 2022, Alconbury Weston Parish council make the following comments on Planning Application 22/00145/S73: Removal of conditions 3 (Material), 5 (levels), 6 (ecology), 7 (tree protection, 10 (architectural details) to 18/01946/FUL at 50 Hamerton Road, Alconbury Weston.

Alconbury Weston Parish Council objects to the proposed Removal of planning conditions to Planning Application 18/01946/FUL, that was approved on 18th October 2019, which were submitted as Planning Application 22/00145/S73 on 24th January 2022. Alconbury Weston Parish Council recommends that you refuse Planning Application 22/00145/S73.

The Parish Council (PC) offers the following comments:

- Condition 3. The PC is concerned that the building materials that have been used and the finished appearance are not in keeping with the Alconbury Weston Conservation Area, in which these houses stand, notably:
 - Materials are not to the required specification. i.e. doors and windows are UPVC/composite whereas they should be wood. The cladding is also not timber, it is composite
 - o Despite chimneys being shown on all plans submitted, including the developer's revised plans, there are no chimneys. As far as the PC is aware, all houses within the conservation area have chimneys.
 - o The colour of the cladding is a fashionable modern colour and is not in keeping with other properties in the Conservation Area.
 - o Roof tiles are not the correct colour.
 - o The colour of the doors and windows is not as originally specified.
 - o Porches are missing from the finished properties.
 - o The external appearance of the garages is not in keeping with the Conservation Area.

The PC objects to the removal of Condition 3, and requests that remedial action is taken to address the appearance of this development.

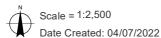
- Condition 4. The planning application seeks to remove Condition 4. The PC has assumed that the developer has changed his mind, as he has now submitted both hard and soft landscaping plans. The hard landscaping proposal is comprehensive, but retains the road construction that currently exists but with a different surface. This is contrary to Condition 8 and does not achieve the flood risk reduction requirements. There is great concern within the village community that Condition 8 has not been met. We note that there has been no request to remove Condition 8, but it is unclear to the PC if there is provision for rainwater/surface water run-off as detailed in Condition 8 and it is still unclear to the PC how this condition would be met. The PC originally observed that the data used was some 20 years out of date and since that data was provided there have been several "1 in 100 year" floods. We are not clear as to the nature of the current drainage solution for this development and cannot determine if is fit for purpose. The development seeks to barrier itself off from surrounding properties through the use of 1.8m high solid fencing, walls and some hedging inside the fencing. The PC considers that this is not in keeping with the boundaries between other properties within the conservation area, and recommends greater use of hedging, which would also contribute to flood alleviation. The PC objects to the hard landscaping proposal.
- Condition 5. The PC has no access to the site to determine whether the floor level of all buildings is correct. The PC consider that it is unacceptable to remove Condition 5 and request that the planning authority determines why this condition should be removed.

- Condition 6. The PC does not understand why condition 6 needs removing. The developer has submitted a Biodiversity Method Statement dated April 2022, and while the major part of the report has been undertaken by the completed development, the PC would wish to see the remaining activities completed and inspected.
- Condition 7. The PC note that the Retrospective Arboricultural Impact Assessment submitted by the developer states that Condition 7 has not been met. However, the PC support the recommendation of this report that the terms of Condition 7 are applied for the 5 years following completion of the development. The PC therefore object to the removal of Condition 7.
- Condition 10. The PC consider that Condition 10 is critical to the appearance of the finished properties and their blending into the conservation area. The PC note that there are some details on the plans that allude to the architectural design, but they are not sufficient to comment on. As many of these details are to be completed in the final stages of development, we cannot observe on their implementation, but would expect the developer to fulfil the requirements of Condition 10.

The PC request that you note that the meeting saw a large public participation (13 members of the parish + 2 developers), with the parish members particularly concerned about the appearance of the development where it is situated within the conservation area, and also that Parish advice has not been sought of any significant proposed deviations from the approved planning approval before they have been carried out. The overall feelings of the parishioners' present were that the development is significantly altered from what was initially approved.

Cllr Mark S Waring Chair Alconbury Weston Parish Council

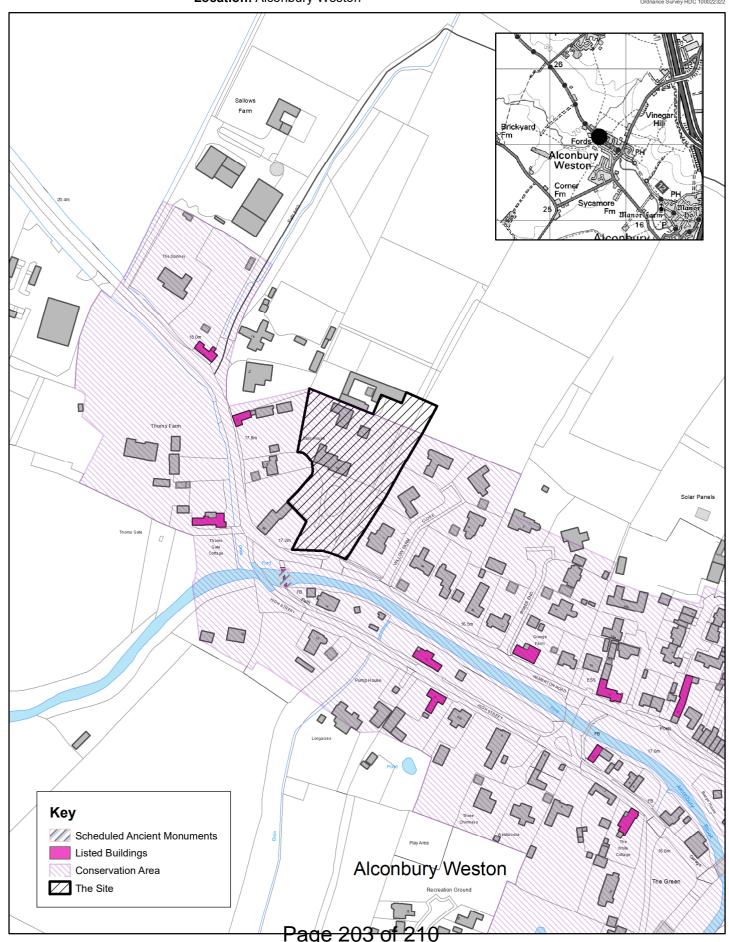
Development Management Committee

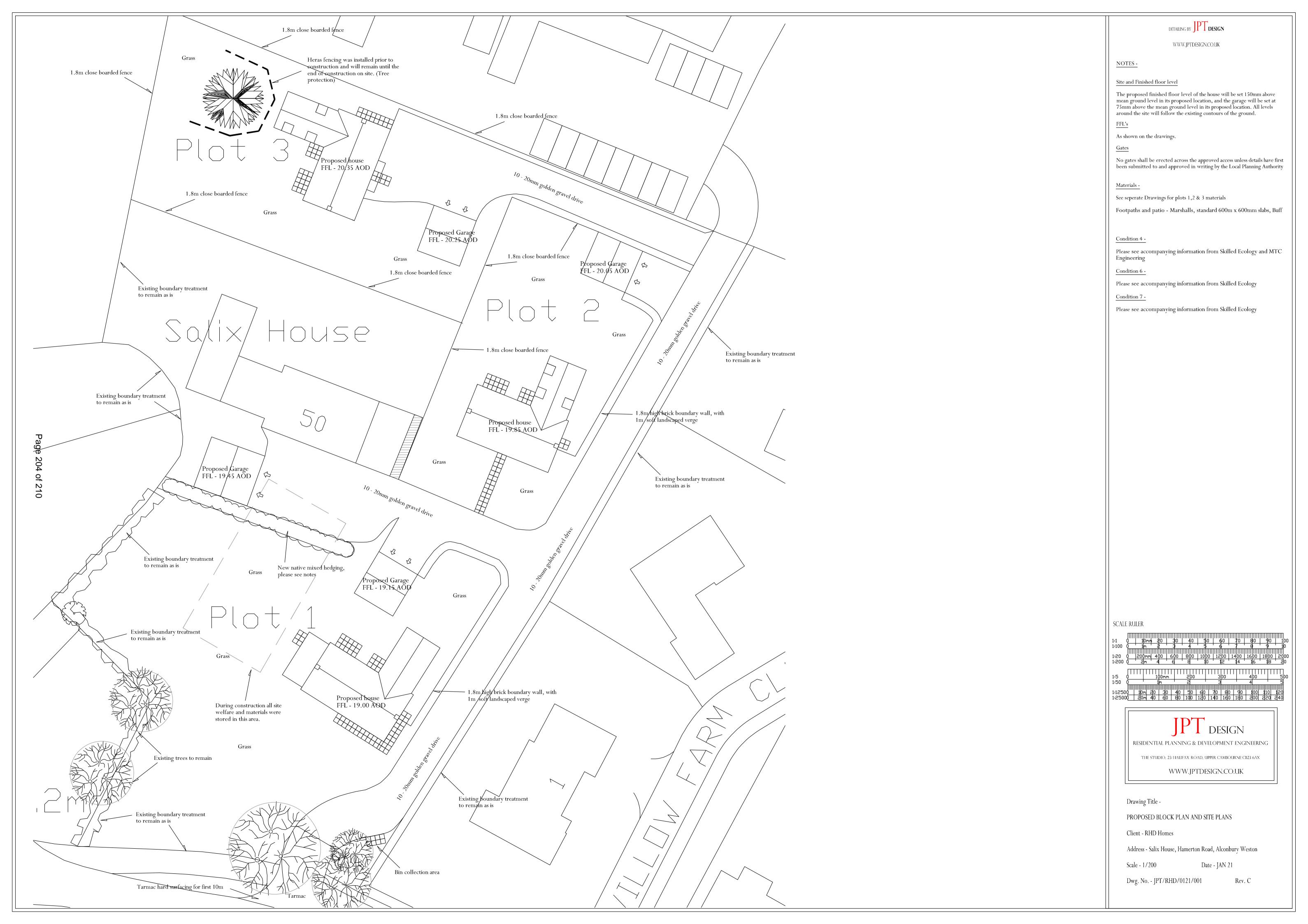


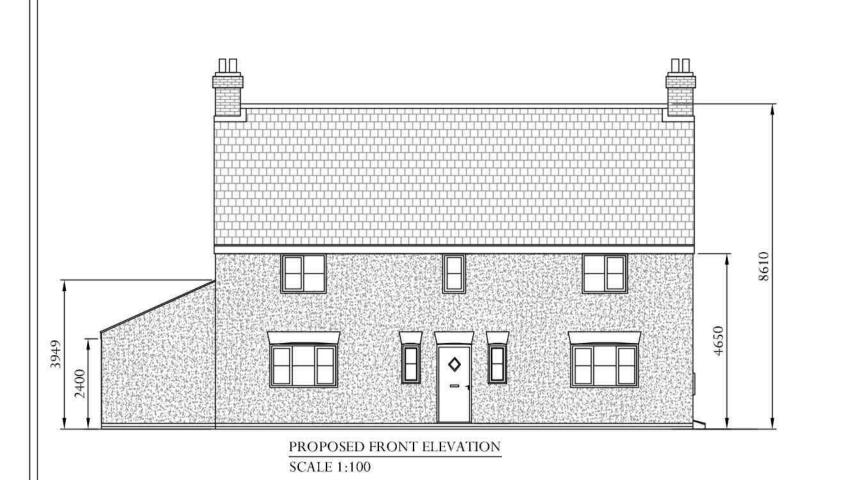
Application Ref:22/00145/S73 **Location:** Alconbury Weston



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Brook

Plot

Salix/ House

Plot 2

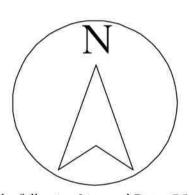
Proposed Materials

Grey spanish slate tiled roof Grey spanish slate tiled roof
Weberal M monocouche render finish to walls in Ivory
Clotted cream coloured, UPVC double glazed units for windows and doors
Clotted Cream composite front door
Soffits and Fascias in Anthracite Grey UPVC
Rainwater gutters and downpipes in black UPVC
Electric Meter box as shown in white
Gas meter box (low level) as shown in brown External vents in cream colour



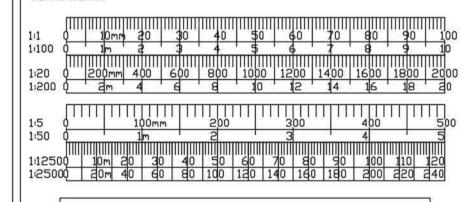
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- 1. All dimensions in millimetres unless otherwise stated.
- 2. All windows and doors to have a reveal of 30mm



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THE STUDIO, 23 HALIFAX ROAD, UPPER CAMBOURNE CB23 6AX

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Drawing Title -

Plot 1 - Elevations

Client - RHD Homes

Address - Salix House, Hamerton Road, Alconbury Weston

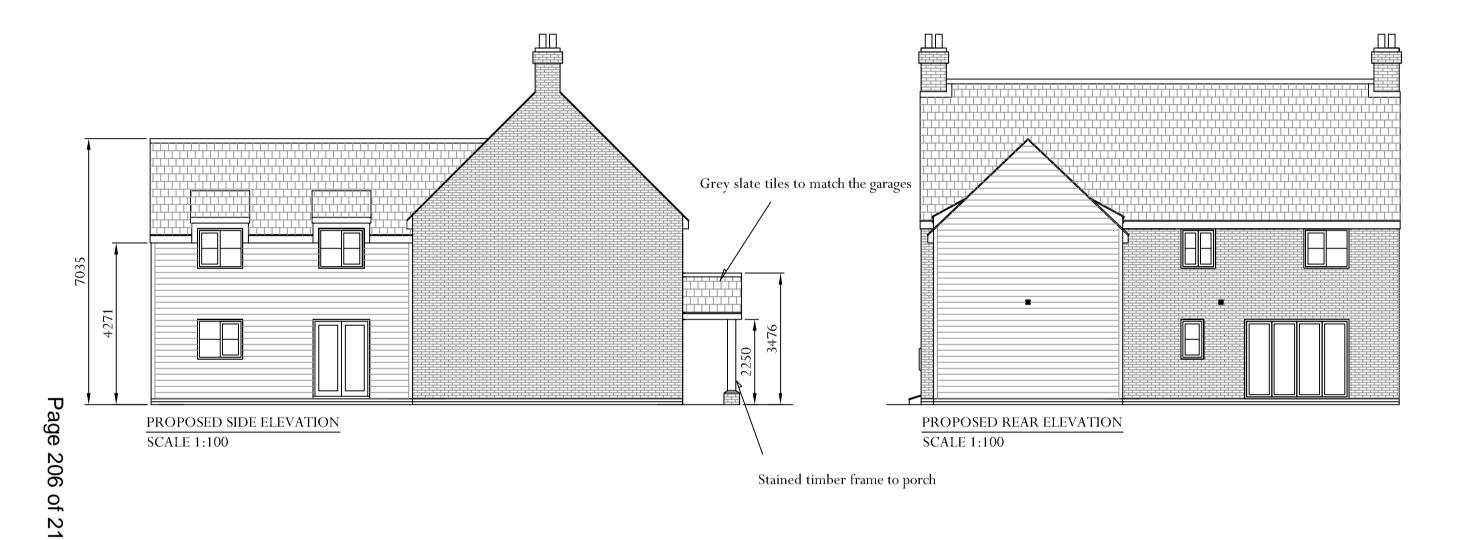
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Dwg. No. - JPT/RHD/0121/002

Rev. C

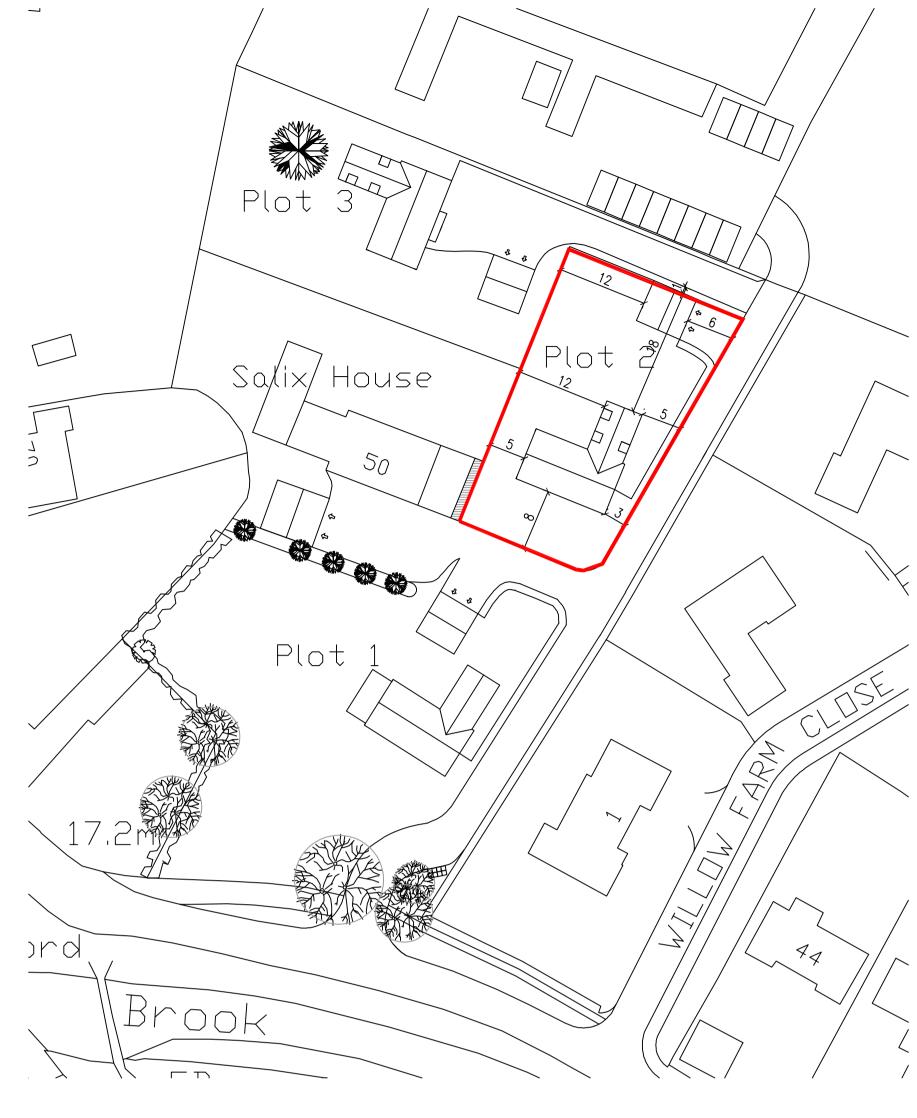
Date - JAN 21





Proposed Materials Marley double roman, red, concrete interlocking tiles
Camtech, Anglia Cream external brickork to walls, with James Hardie
Cladding in the colour Pearle Grey to the rear sections
Clotted cream coloured, UPVC double glazed units for windows and doors
Clotted Cream composite front door
Soffits and Fascias in Anthracite Grey UPVC
Rainwater gutters and downpipes in black UPVC
Electric Meter box as shown in white
Gas meter box (low level) as shown in brown
External yents in Cream or Grey, to match external wall colour

External vents in Cream or Grey, to match external wall colour



PROPOSED BLOCK PLAN

Scale 1:500

DETAILING BY JPT DESIGN

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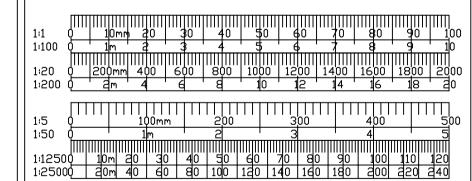
1. All dimensions in millimetres unless otherwise stated.

2. All windows and doors to have a reveal of 30mm

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THE STUDIO, 23 HALIFAX ROAD, UPPER CAMBOURNE CB23 6AX

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Drawing Title -

Plot 2 - Elevations

Client - RHD Homes

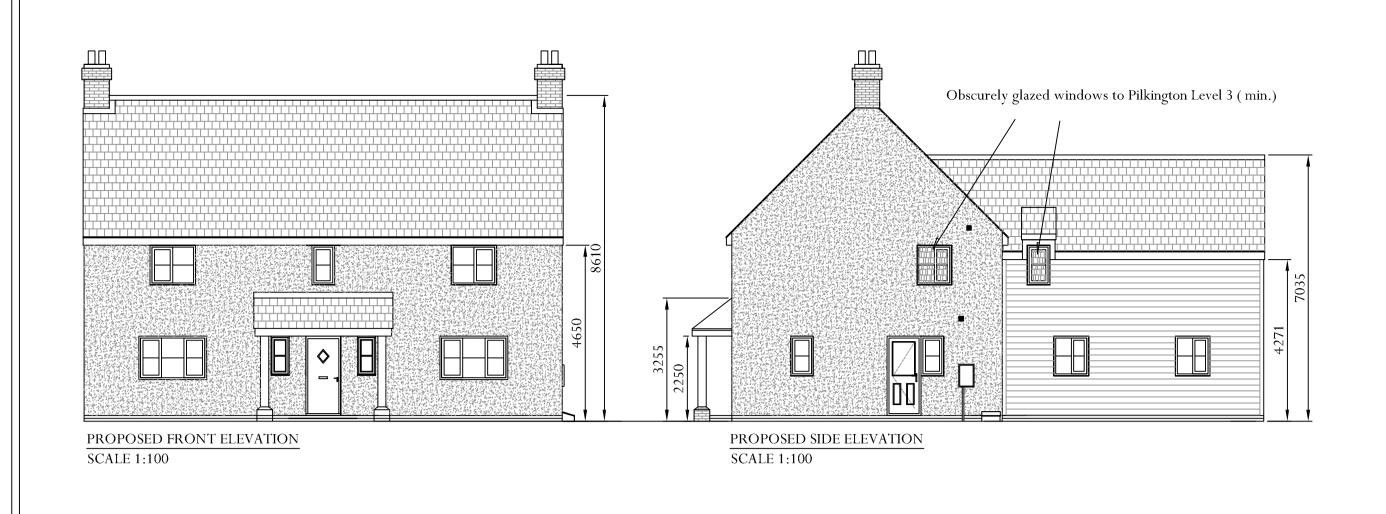
Address - Salix House, Hamerton Road, Alconbury Weston

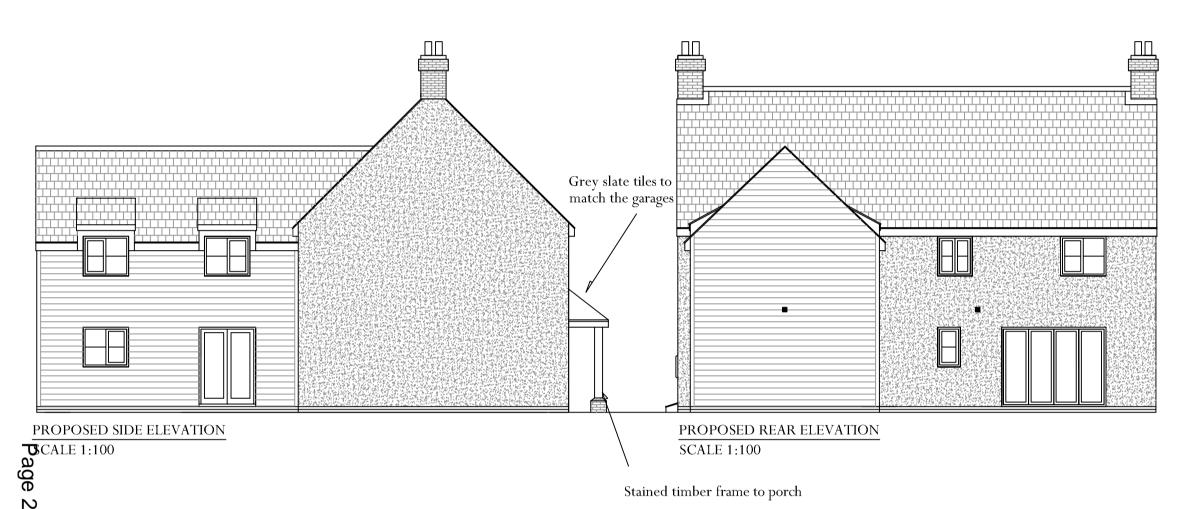
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Date - JAN 21

Dwg. No. - JPT/RHD/0121/003

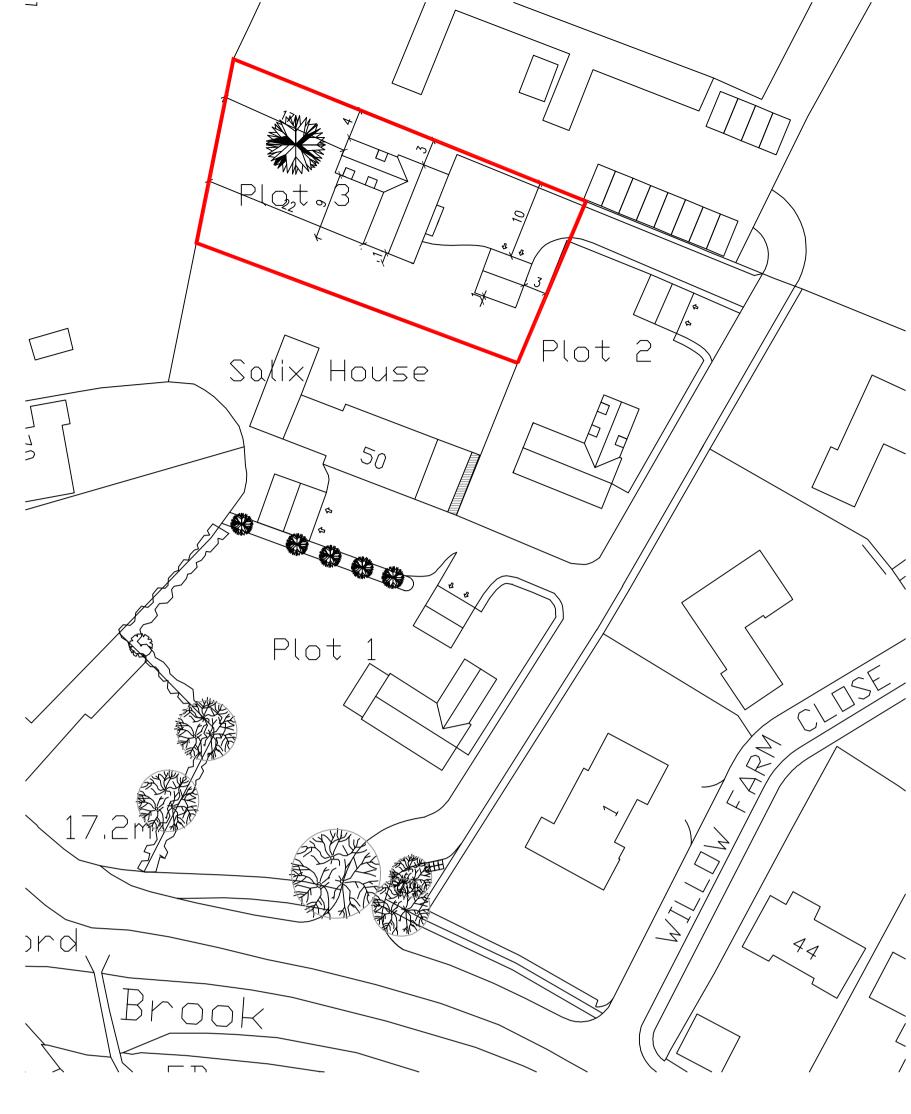
Rev. C





Proposed Materials

Marley double roman, red, concrete interlocking tiles Weberal M monocouche render finish to walls in Ivory with James Hardie Cladding in the colour Pearle Grey to the rear sections
Clotted cream coloured, UPVC double glazed units for windows and doors
Clotted Cream composite front door Soffits and Fascias in Anthracite Grey UPVC Rainwater gutters and downpipes in black UPVC Electric Meter box as shown in white Gas meter box (low level) as shown in brown External vents in Cream or Grey, to match external wall colour



PROPOSED BLOCK PLAN

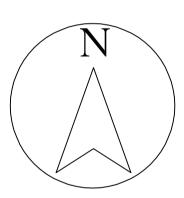
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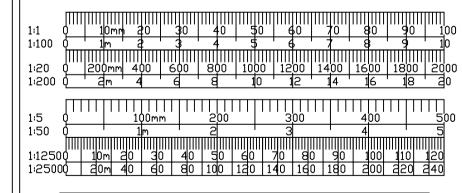
1. All dimensions in millimetres unless otherwise stated.

2. All windows and doors to have a reveal of 30mm



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THE STUDIO, 23 HALIFAX ROAD, UPPER CAMBOURNE CB23 6AX

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Drawing Title -

Plot 3 Elevations

Client - RHD Homes

Address - Salix House, Hamerton Road, Alconbury Weston

Scale - As shown at A1

Date - JAN 21

Rev. C

Dwg. No. - JPT/RHD/0121/004

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Planning Appeal Decisions Since June 2022 Committee

Ref No	Appellant	Parish	Proposal	Site	Original Decision	Delegated or DMC	Appeal Determination	Date	Costs
21/02 730/ HHF UL	Mr Harrington	Kimbolton	A proposed double garage to the front of the house.	5 Aragon Place Kimbolton Huntingdon PE28 0JD	Refusal	Delegated	Dismissed	30/0 6/22	N/A
Page 21/02 21/02 478/ 0 HHF	Mr Pescod	Tilbrook	Proposed side extension replacing existing outbuilding	30 Church Lane Tilbrook Huntingdon PE28 0JS	Refusal	Delegated	Dismissed	05/0 7/22	N/A

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